

Borough Council of
**King's Lynn &
West Norfolk**



Planning Committee

Agenda

Monday, 5th February, 2018
at 9.30 am

in the

**Assembly Room
Town Hall
Saturday Market Place
King's Lynn**



King's Court, Chapel Street, King's Lynn, Norfolk, PE30 1EX
Telephone: 01553 616200
Fax: 01553 691663

PLANNING COMMITTEE AGENDA

Please note that due to the number of applications to be considered it is proposed that the Committee will adjourn for lunch at approximately 12.30 pm and reconvene at 1.10 pm.

Please ensure that all mobile phones are switched to silent

DATE: Monday, 5th February, 2018

VENUE: Assembly Room, Town Hall, Saturday Market Place, King's Lynn PE30 5DQ

TIME: 9.30 am

1. APOLOGIES

To receive any apologies for absence and to note any substitutions.

2. MINUTES

To confirm as a correct record the Minutes of the Meeting held on 8 January 2018.

3. DECLARATIONS OF INTEREST

Please indicate if there are any interests which should be declared. A declaration of an interest should indicate the nature of the interest (if not already declared on the Register of Interests) and the agenda item to which it relates. If a disclosable pecuniary interest is declared, the Member should withdraw from the room whilst the matter is discussed.

These declarations apply to all Members present, whether the Member is part of the meeting, attending to speak as a local Member on an item or simply observing the meeting from the public seating area.

4. URGENT BUSINESS UNDER STANDING ORDER 7

To consider any business, which by reason of special circumstances, the Chairman proposes to accept, under Section 100(b)(4)(b) of the Local Government Act, 1972.

5. MEMBERS ATTENDING UNDER STANDING ORDER 34

Members wishing to speak pursuant to Standing Order 34 should inform the Chairman of their intention to do so and on what items they wish to be heard before the meeting commences.

6. CHAIRMAN'S CORRESPONDENCE

To receive any Chairman's correspondence.

7. RECEIPT OF LATE CORRESPONDENCE ON APPLICATIONS

To receive the Schedule of Late Correspondence received since the publication of the agenda.

8. INDEX OF APPLICATIONS (Pages 6 - 7)

The Committee is asked to note the Index of Applications.

(a) Decisions on Applications (Pages 8 - 125)

To consider and determine the attached Schedule of Planning Applications submitted by the Executive Director.

9. DELEGATED DECISIONS (Pages 126 - 170)

To receive the Schedule of Planning Applications determined by the Executive Director.

10. PLANNING & ENFORCEMENT SERVICE - QUARTERLY REPORT (Pages 171 - 180)

To provide the Committee with the quarterly report covering performance for the period 1 October – 31 December 2017.

11. PLANNING & ENFORCEMENT APPEALS - QUARTERLY REPORT (Pages 181 - 189)

To provide the Committee with the quarterly report covering performance for the period 1 October 2017 – 31 December 2017.

To: Members of the Planning Committee

Councillors A Bubb, Mrs S Buck, C J Crofts, Mrs S Fraser, G Hipperson, A Morrison, T Parish, M Peake (Vice-Chairman), Miss S Sandell, Mrs V Spikings (Chairman), M Storey, D Tyler, G Wareham, Mrs E Watson, A White, Mrs A Wright and Mrs S Young

Site Visit Arrangements

When a decision for a site inspection is made, consideration of the application will be adjourned, the site visited, and the meeting reconvened on the same day for a decision to be made. Timings for the site inspections will be announced at the meeting.

If there are any site inspections arising from this meeting, these will be held on **Thursday 8 February 2018** (time to be confirmed) and the meeting reconvened on the same day (time to be agreed).

Please note:

- (1) At the discretion of the Chairman, items may not necessarily be taken in the order in which they appear in the Agenda.
- (2) An Agenda summarising late correspondence received by 5.15 pm on the Thursday before the meeting will be emailed (usually the Friday), and tabled one hour before the meeting commences. Correspondence received after that time will not be specifically reported during the Meeting.
- (3) **Public Speaking**

Please note that the deadline for registering to speak on the application is 12 noon the working day before the meeting, **Friday, 2 February 2018**. Please contact borough.planning@west-norfolk.gov.uk or call (01553) 616818 or 616234 to register.

For Major Applications

Two speakers may register under each category: to object to and in support of the application. A Parish or Town Council representative may also register to speak. Each speaker will be permitted to speak for five minutes

For Minor Applications

One Speaker may register under category: to object to and in support of the application. A Parish or Town Council representative may also register to speak. Each speaker will be permitted to speak for three minutes.

For Further information, please contact:

Kathy Wagg on 01553 616276
kathy.wagg@west-norfolk.gov.uk

**INDEX OF APPLICATIONS TO BE DETERMINED
BY THE PLANNING COMMITTEE AT THE MEETING
TO BE HELD ON MONDAY 5 FEBRUARY 2018**

Item No.	Application No. Location and Description of Site Development	PARISH	Recommendation	Page No.
DEFERRED ITEMS				
8/1(a)	17/01981/F Hope Cottage Busseys Lane Erection of a single-storey side extension Hope Cottage Busseys Lane	HOLME NEXT THE SEA	APPROVE	9
8/1(b)	17/01951/RM Land Between 11 And 12 Buckenham Drive Reserved Matters Application: construction of two dwellings	STOKE FERRY	APPROVE	21
MAJOR DEVELOPMENTS				
8/2(a)	17/00025/FM Whitleys Stationers Press 19 - 21 Church Street Demolition of old print works and the construction of 15 number 2 bed flats and 1 number 1 bed flat with associated car parking	HUNSTANTON	REPORT TO FOLLOW	
OTHER APPLICATIONS/ APPLICATIONS REQUIRING REFERENCE TO THE BOARD				
8/3(a)	17/02068/F Spinneys End 1 Woodside Change of use to garden land	BURNHAM MARKET	APPROVE	27
8/3(b)	17/01753/F The Lord Nelson Walsingham Road Erection of part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park and installation of replacement LPG tank, following demolition of two storage sheds	BURNHAM THORPE	APPROVE	35
8/3(c)	17/01754/LB The Lord Nelson Walsingham Road Listed Building Application: Erection of part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park and	BURNHAM THORPE	APPROVE	52

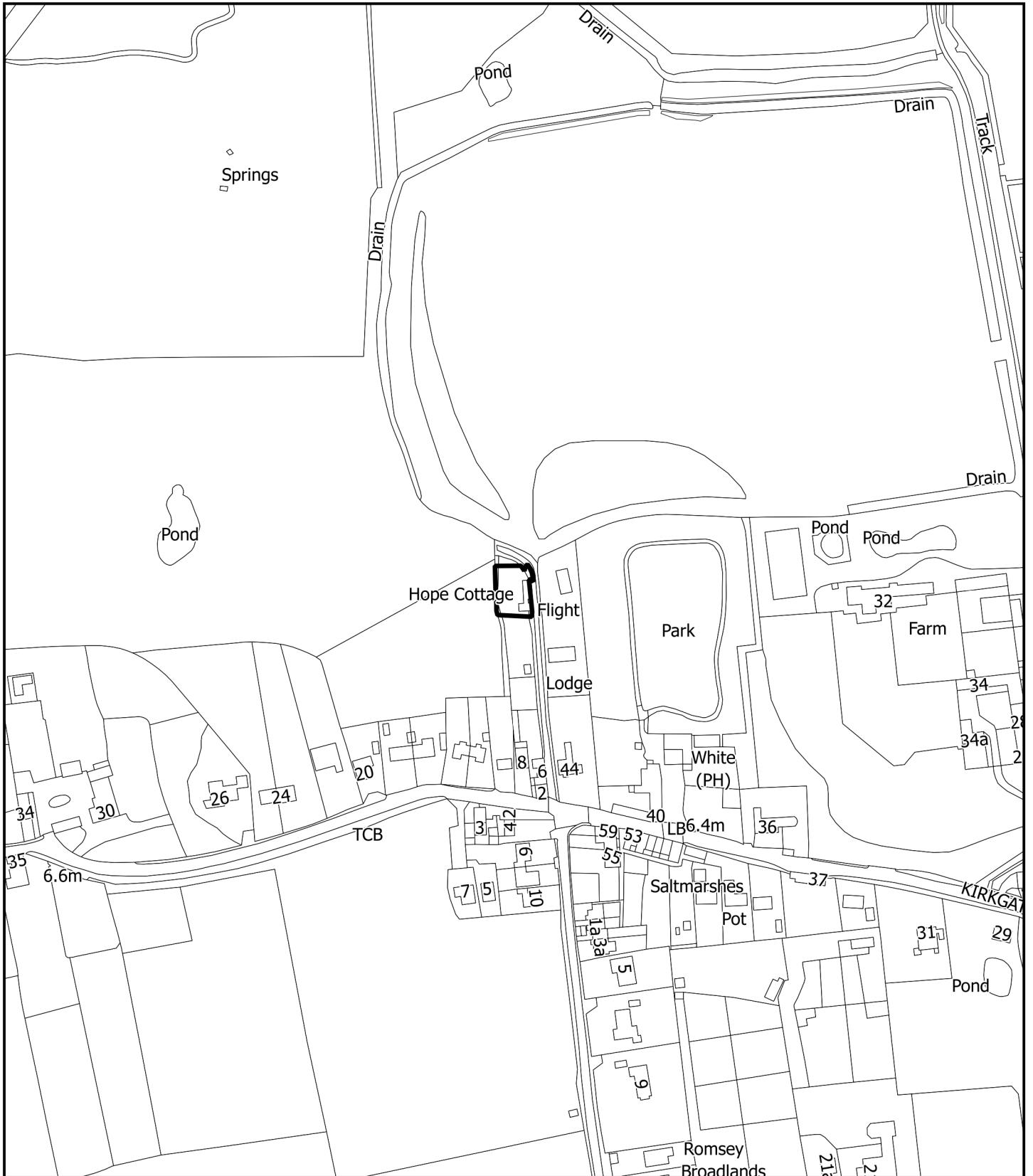
installation of replacement LPG tank,
following demolition of two storage sheds

8/3(d)	17/02168/F The Water Tower Peddars Way VARIATION OF CONDITION 2 OF PLANNING PERMISSION 16/00034/F: Re- use and develop existing water tower structure to a two bedroom residential dwelling	CASTLE ACRE	APPROVE	62
8/3(e)	17/02049/F Chalfont House High Street Proposed 1 and a half storey dwelling and cart shed	DOCKING	APPROVE	72
8/3(f)	17/02259/F Greensleeves Sandy Lane VARIATION OF CONDITION 2 OF PLANNING PERMISSION 17/01043/F: Demolition of existing bungalow and erection of two semi-detached dwellings	DOCKING	APPROVE	83
8/3(g)	17/01843/F Coaly Lane Construction of a place of worship with car parking and landscaped grounds	INGOLDISTHORPE	APPROVE	90
8/3(h)	17/02342/F 36a Common Road Construction of two dwellings	SNETTISHAM	APPROVE	102
8/3(i)	17/00027/O Land To the West of Medina Lynn Road Outline Application: Construction of 5 dwellings and associated external works.	TILNEY ALL SAINTS	APPROVE	110

TREE PRESERVATION ORDER

8/3(j)	2/TPO/00569 4 & 5 Cedar Row Wootton Road	KING'S LYNN	CONFIRM WITHOUT MODIFICATION	123
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17/01981/F
Hope Cottage Busseys Lane Holme-Next-the-Sea



Parish:	Holme next the Sea	
Proposal:	Erection of a single-storey side extension	
Location:	Hope Cottage Busseys Lane Holme next The Sea Norfolk	
Applicant:	Ocean Breaks	
Case No:	17/01981/F (Full Application)	
Case Officer:	Mr James Sheldrake	Date for Determination: 19 December 2017 Extension of Time Expiry Date: 15 January 2018

Reason for Referral to Planning Committee – Site of previously dismissed appeal for another extension

Neighbourhood Plan: No

Case Summary

Members will recall that this application was deferred from the January Committee, to allow discussions to take place about redesigning the balcony so that it had less of an impact on the neighbouring property. A revised scheme has now come forward to be considered by Committee.

The application site lies within the Conservation Area of Holme-next-the-Sea. Holme-next-the-Sea is classified a Smaller village or hamlet according to Policy CS02 of the Local Development Framework Core Strategy 2011.

The application site contains one dwelling. The existing property comprises a two storey building with a single storey linked building to the site. The property is constructed of traditional clunch (chalk) together with timber boarding and is roofed with traditional Norfolk clay pantiles.

The property has been the subject of a recently refused application to extend the building to the west (16/00196/F) and subsequently dismissed appeal (APP/V2635/D/3148824).

The proposal seeks consent for a single storey side extension, which incorporates a new balcony.

Key Issues

- Principle of Development
- Impact upon the character and appearance of the Conservation Area and other design considerations
- Impact on the AONB
- 4. Nature conservation

Planning Committee
5 February 2018

- 5. Highway Safety
- 6. Impact upon Neighbour Amenity
- 7. Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application site lies within the village of Holme-next-the-Sea and within the Conservation Area.

Busseys Lane is a narrow gravelled road that runs north from the junction of Kirkgate, Westgate and Peddars Way and finishes beside Hope Cottage, at which point a footpath starts. The site is bounded to the west by the North Norfolk Coast Ramsar Site, Special Protection Area and SSSI. The dwelling is surrounded on its northern, western and southern boundary by high hedgerows and on the east side of Busseys Lane is a hedgerow and trees which means there is little inter-visibility between the site and neighbouring properties and the AONB.

The existing dwelling is single storey and incorporates the original cottage to the south and the converted outbuilding that runs parallel to Busseys Lane. The existing dwelling is constructed externally from brick, stone and painted cladding and is roofed with traditional Norfolk clay pantiles. The converted outbuilding has a large set of modern doors and the original cottage incorporates modern window detailing. The garden and parking is to the west of the dwelling and the access is on the north east of the site.

The site has been the subject of a recently dismissed appeal for a two storey side extension (APP/v2635/3163185) which is discussed later in this report.

The current proposal has sought to overcome the reasons for dismissing the appeal, namely by reducing the two storey side extension to a more architecturally in-keeping single storey extension with a slightly lower pitched roof that is less visible from the conservation area and less impactful on the existing dwelling.

The application was considered at Planning Committee on 08/01/2018 when it was considered that an amendment was necessary to move the location of the balcony and to add a screen to mitigate any potential overlooking. The applicant has amended the balcony design and a condition has been imposed requiring the construction of a screen prior to the use of the balcony.

SUPPORTING CASE

The agent submitted the following supporting statement (submitted 11/12/2017):

"The proposed development has been reduced markedly from the previous appeal scheme (for a 2-storey extension) following pre-application advice provided by the Council's Planning and Conservation Officers. The previous appeal was dismissed only in relation to the impacts arising from the scale and use of modern materials which the Inspector asserted

amounted to 'less than substantial harm' upon the character and appearance of the Conservation Area.

The proposed single-storey extension has also been further amended following the submission of the planning application in order to improve the subservient relationship with the host building whilst also amending the fenestration and the external materials.

The extension is proposed in order to improve the living environment within the cottage whilst also ensuring that the overall character of the existing building is not compromised. The scale of the development would also result in a much reduced and acceptable impact upon the character and appearance of the Conservation Area.

The applicant therefore considers that the proposal would constitute an acceptable extension to the dwelling." (Submitted 11/12/2017)

PLANNING HISTORY

17/00121/PREAPP PRE APPLICATION ENQUIRY: two storey extension to dwelling

16/00138/PREAPP PRE APPLICATION ENQUIRY: two storey extension to dwelling

16/00196/F: Application Refused: 31/03/16 - Erection of a Two Storey Side Extension Appeal Dismissed 29/06/16;

04/02423/F: Application Permitted: 05/01/05 - Extension to dwelling to create double covered parking/storage area

2/03/1657/F: Application Permitted: 28/01/04 - Restoration of derelict dwelling

2/02/0248/F: Application Withdrawn: 11/04/02 - Reconstruction of dwelling

RESPONSE TO CONSULTATION

Parish Council: NO OBJECTION (detailed concerns made)

Highways Authority: NO OBJECTION.

Conservation Officer: NO OBJECTION.

Environmental Agency: No comment to make.

Natural England: NO OBJECTION (with advice on assessing impact on AONB)

Open Spaces Society: NO OBJECTION.

Public Rights of Way Officer: NO OBJECTION.

Norfolk Coast Partnership: NO OBJECTION (with recommended condition).

REPRESENTATIONS

4 public objections were received to the proposal on the following grounds:-

Planning Committee
5 February 2018

- Impact on the SSSI
- "When the original building was restored further development was restricted to the original footprint" and "no further development was to be permitted".
- The design is "poor quality" and will have a "major adverse effect" on Holme.
- Overlooking from the balcony on Morning Flight (the single storey property to the east)

Since the Previous Planning Committee, 1 letter of correspondence from the owner of Morning Flight was received to say that he has no objections to the amended balcony if the condition to secure the obscured screen to prevent overlooking is implemented.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS07 - Development in Coastal Areas

CS08 - Sustainable Development

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM15 – Environment, Design and Amenity

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

PLANNING CONSIDERATIONS

The main issues for consideration in the determination of this application are:

- Principle of Development
- Impact upon the character and appearance of the Conservation Area and other design considerations
- Impact on the AONB
- Nature conservation
- Highway Safety
- Impact upon Neighbour Amenity
- Other Material Considerations

Principle of Development

Holme next the Sea is designated as a Smaller Village or Hamlet within the Site Allocations and Development Management Policies Plan (2011), is set within the AONB and contains a conservation area. The existing dwelling is in the Conservation Area Character Statement as an important unlisted building. Because Holme next the Sea is designated as a Smaller Village or Hamlet it doesn't have a development boundary, however the principle of development (extension to an existing dwelling within the residential curtilage) is acceptable.

Impact upon the character and appearance of the Conservation Area and other design considerations

The property has been the subject of a relatively recent application to extend the building to the west (Application: 16/00196/F). The proposed extension was refused on the basis of its scale, design and use of materials and it not being subservient or sympathetic to the traditional appearance of Hope Cottage. The impact of the extension was considered to adversely affect public views and the visual amenities of the locality both detrimentally affecting the character of the AONB and failing to sustain the character of the Conservation Area.

The application was appealed (APP/V2635/D/3148824) and dismissed by the inspector. The Planning Inspector considered that the character of the Conservation Area did not demonstrate a wide variety of materials and a tolerance in terms of deviating from traditional design features. The inspector concluded that the scale and modern design of the extension would not be in keeping with the existing cottage or the traditional properties in the village. The extension would be an incongruous feature in terms of the design of the existing property and the Conservation Area. The harm caused to the Conservation Area and the non-designated heritage asset (the cottage itself) was not outweighed by any public benefit. The inspector dismissed the impact of the proposal upon the AONB as a reason for refusal due to the modest scale of the extension and the screening provided by the existing vegetation. A copy of the appeal decision is attached to this report.

The proposed extension is much smaller in scale than the previously refused application and doesn't look out of balance or significantly out of character with the existing dwelling. The proposal incorporates a traditional pitched roof, set lower than the existing dwelling, and materials are traditional and will match the existing dwelling. The proposed balcony is set back from Busseys Lane and won't be widely visible due to its position and the vegetation surrounding the site. The Conservation Officer has accepted that the proposed extension is "better proportioned in relation to the existing cottage and so will not be overly dominant" and doesn't object to the application. The impact of the proposed extension on the existing dwelling is therefore considered to be acceptable.

Impact on the AONB

In the dismissed appeal (APP/V2635/D/3148824) the Planning Inspector commented that "the proposal would not cause harm to the character and appearance of the open landscape of the AONB. The development would therefore not conflict with Policy CS12 of the Core Strategy and Policy DM15 of the emerging SADM and the Framework in the regard that these policies seek, amongst other things, to protect and enhance the landscape character and the amenity of the wider environment including the heritage and cultural value of the area".

The screening provided by the existing vegetation on the boundaries, which restricts the wider visibility of the site, is unchanged since the appeal was considered. Given the reduced

Planning Committee
5 February 2018

scale of the amended scheme being assessed and the vegetation surrounding the site, it is considered that the proposal would not cause harm to the character and appearance of the open landscape of the AONB.

Nature Conservation

The Parish Council and third parties have raised concerns about the potential impact of the proposed development on the designated conservation sites adjacent to the site and European Protected Species in the vicinity.

In the dismissed appeal (APP/V2635/D/3148824) the Planning Inspector commented that "Third parties have raised concerns about the development disturbing the wildlife in the Redwell Marsh SSSI. The SSSI falls within the North Norfolk Coast Special Protection Area and Special Area of Conservation. It also lies within the North Norfolk Coast Ramsar area. In view of the modest scale of the development, I consider that the proposal would not adversely affect the SSSI and as such would accord with Policy CS12 of the Core Strategy and the advice contained within the Framework."

Due to the presence of European Protected Species in the designated conservation sites adjacent to the proposal site the applicant has submitted a preliminary ecological appraisal which concluded that the pond on site is "not considered to be suitable to support Great Crested Newts, Natterjack Toads or Common Toads", the loss of amenity grassland habitat won't have a significant impact on populations beyond the site boundary and "no trees or buildings on site are considered to have bat roost potential".

Given the reduced scale of the amended scheme being assessed and the lack of European Protected Species habitat, it is considered that the proposal would not adversely affect the SSSI or significantly impact upon European Protected Species.

Highway Safety

Norfolk County Highways have raised no objection to the proposal.

Impact upon Neighbour Amenity

A neighbour has commented that the proposed development will result in overlooking of the timber-chalet style property to the east (Morning Flight) from the proposed balcony. The proposed balcony was unchanged from the scheme assessed at appeal by the Planning Inspector in 2016 ((APP/V2635/D/3148824) and overlooking was not raised as a concern.

However, after being considered at Planning Committee on 08/01/2018 it was considered that an amendment was necessary to move the location of the balcony and the addition of a screen to mitigate any potential overlooking. The applicant has subsequently amended the balcony design and a condition has been imposed requiring the construction of a screen prior to the use of the balcony. The neighbour that objected to the scheme considered at January Planning Committee has written to say that he has no objections to the amended balcony design if the condition to secure the obscured screen to prevent overlooking is implemented.

Due to the scale of the proposed development and its relative position and distance from neighbouring properties (20+ metres) and the addition of condition requiring an obscured screen; the proposed development won't result in overbearance, loss of light or significant overlooking and therefore the impact of the proposed extension upon neighbourhood amenity is acceptable.

Other Material Considerations

Holme next the Sea Parish Council haven't formally objected but provided a response detailing concerns. These concerns cover the cumulative impact of extensions, the internal layout, access difficulties along Busseys Lane, the amount of windows and glass, the balcony, the impact on European Protected Species, flood risk and parking of construction vehicles. Additionally, the Norfolk Coast Partnership have requested a lighting condition.

The design is acceptable; however, conditions are recommended that require more detail of external materials, external windows and doors, the balcony and external lighting. Flood risk is not a reason to refuse this extension in this case.

CONCLUSION

The principle of the development is acceptable because the proposal is for an extension within the curtilage of an existing dwelling. This application is submitted in response to a previous refusal, which was also dismissed at appeal.

The design of the proposed extension in the conservation area is acceptable by virtue of its width, height and design. The proposal reflects the proportions of the existing dwelling and incorporates matching materials. Additionally, the impact of the proposal on neighbouring properties is acceptable due to the separation between neighbouring properties and the lack of significant overlooking due to the requirement of an obscured screen on the proposed balcony. The neighbour that objected to the previous balcony design has no objections subject to the amended design and securing of the screen.

The proposal would accord with policies DM1, DM2 and DM15 of the Development Management Policies Plan 2016 and the provisions of the National Planning Policy Framework 2012 and is sustainable development. It is therefore recommended for approval.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plan:

DWG SE-422-20-REV F (19th January 2018)
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: No development shall commence on any external surface of the development until a sample panel of the materials to be used for the external surfaces of the building(s) and/or extension(s) hereby permitted has been erected on the site for the inspection and written approval of the Local Planning Authority. The sample panel shall measure at least 1 metre x 1 metre using the proposed materials, mortar type,

Planning Committee
5 February 2018

bond and pointing technique. The development shall be constructed in accordance with the approved details.

- 3 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.
- 4 Condition: No development over or above foundations shall take place on site until full details of the window style, reveal, cill and header treatment and external door design have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 4 Reason: To ensure that the design and appearance of the development is appropriate in accordance with the principles of the NPPF.
- 5 Condition: Notwithstanding the submitted plans, prior to the first use of the balcony hereby permitted full details of a proposed obscured screen (including the height and materials) on the east side of the balcony shall be submitted to and approved in writing by the Local Planning Authority. The screen shall be erected prior to the first use of the balcony and it shall be retained in situ in perpetuity.
- 5 Reason: For the avoidance of doubt and to safeguard the amenities of the locality in accordance with the NPPF.
- 6 Condition: Prior to the installation of any external lighting to the site, details shall be submitted to and agreed in writing by the Local Planning Authority, and only lighting so agreed shall be installed on the site. Such lighting shall be kept to a minimum for the purposes of security and site safety, and shall prevent upward and outward light radiation. The lighting shall be fully shielded (enclosed in full cut-off flat glass fitments), directed downwards (mounted horizontally to the ground and not tilted upwards), switched on only when needed (no dusk to dawn lamps) and use white light low-energy lamps (LED, metal halide or fluorescent) and not orange or pink sodium sources
- 6 Reason: In the interests of minimising light pollution in the AONB and to safeguard the amenities of the locality in accordance with the NPPF.



Appeal Decision

Site visit made on 21 June 2016

by **David Troy BSc (Hons) MA MRTPI**

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date : 29 June 2016

Appeal Ref: APP/V2635/D/16/3148824

Hope Cottage, Busseys Lane, Holme next the Sea, Norfolk PE36 6NU

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Ocean Breaks against the decision of King's Lynn and West Norfolk Borough Council.
 - The application Ref 16/00196/F, dated 2 February 2016, was refused by notice dated 31 March 2016.
 - The development proposed is erection of two storey side extension.
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Decision

1. The appeal is dismissed.

Preliminary matter

2. The Council's decision notice refers to Policy DM15 in the emerging King's Lynn and West Norfolk Site Allocations and Development Management Policies (SADM) Pre-Submission Document (January 2015). The SADM is at an advanced stage having been through examination and the Council are currently consulting on the main modifications to the plan. I therefore give this policy in the emerging Development Plan significant weight as a material consideration.

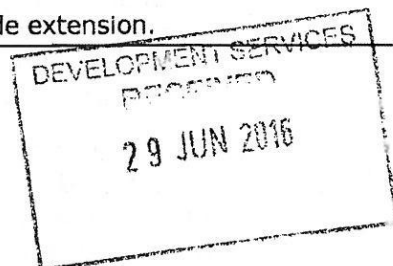
Main Issues

3. The effect of the development on (i) the character and appearance of the existing dwelling and area including the Holme next the Sea Conservation Area (the Conservation Area) and (ii) the Area of Outstanding Natural Beauty (the AONB).

Reasons

Character and appearance including the existing dwelling and Conservation Area

4. The appeal property comprises a two storey building with a single storey linked building to the side. The property is constructed of traditional clunch (chalk) together with timber boarding and windows under a red pantile roof. It is reported to have been restored and converted for holiday use, with that use starting in 2011, and is located close to the back edge of Busseys Lane, a short unmade lane on the northern edge of the Conservation Area and within the AONB.
5. The immediate context includes the rear garden of the adjacent property to the south, mobile caravans/timber chalet on land to the east and open fields to the



north and west, which forms part of the Redwell Marsh Reserve Site of Special Scientific Interest (SSSI). A restricted byway running along Busseys Lane and into the SSSI provides public access by foot.

6. The Draft Conservation Area Character Statement (revised in February 1992), which pre-dates the restoration of the current building, identifies Hope Cottage as an Important Unlisted building. The properties in the village follow mostly the same traditional form, materials and design as the appeal property. Thus, with the exception of some more modern buildings, this provides a strong unifying character and appearance to the Conservation Area.
7. I note the appellant's arguments about the screening provided by the existing hedgerows around the site. Similarly I note his comments about the character of this part of the Conservation Area and absence of any building materials to dominate the built form along Busseys Lane being influenced by the mobile caravans and timber chalet on land to the east, together with the stationing of a mobile home on land immediately to the south. However, notwithstanding this, I consider that the scale and modern design of the proposed extension would not be in keeping with the traditional form of the existing cottage and the properties in the village. Whilst, the existing vegetation along the lane and around the site would provide some screening, due to close proximity of the cottage to the back edge of the lane, the proposed extension would be visible from the road and those passing along it to the byway.
8. As such I consider that the proposed two storey extension, by virtue of its scale and modern design would represent an incongruous feature on the rear of the existing property that would dominate the existing form, such that the vernacular qualities of its scale and design would be lost, despite the clear demarcation between old and new. The proposal would therefore be harmful to the character and appearance of the existing property and the Conservation Area.
9. Nevertheless, given the modest scale of the development, that harm would be less than substantial and in accordance with paragraph 134 of the National Planning Policy Framework (the Framework), that harm should be weighed against any public benefits from the proposal. Similarly, a balanced approach is required to assess the effect on the existing cottage as a non-designated heritage asset, in accordance with paragraph 135 of the Framework.
10. I note the appellant's desire to provide additional accommodation for the existing building through an innovative design and to make the use of the property as a holiday let more viable. However, this benefit would not outweigh the harm that the proposed extension would cause to the character and appearance of the conservation area. Similarly, by virtue of its scale and modern design, the proposed extension would affect directly the existing cottage and harm its significance as a non-designated heritage asset.
11. Consequently, I conclude that the proposed extension would cause harm to the character and appearance of the existing property and the Conservation Area. The development would therefore conflict with Policy CS12 of the King's Lynn and West Norfolk Core Strategy (2011) (the Core Strategy) and Policy DM15 of the emerging SADM. These policies seek, amongst other things, to protect and enhance the historic environment and the amenity of the wider environment including the heritage and cultural value of the area.

12. The proposed extension would also fail to comply with the Framework as outlined above and paragraphs 17, 56 and 64, which contain amongst other matters the requirement for high quality design that responds to the character and appearance of the existing building and the area.

Character and appearance of the AONB

13. On my site visit I viewed the site from the various locations highlighted in the appellant's supporting statement. Other than from the restricted byway running into the SSSI off Busseys Lane immediately to the north, the site was not prominent from any public footpath. There were only distant views from the footpath running into the SSSI off Beach Road to the north-west of the site, but these were largely obscured by existing vegetation.
14. From the restricted byway immediately to the north of the site, the existing cottage and outbuildings could not be viewed directly due to the existing dense hedgerow and vegetation measuring approximately 3m in height along the northern and western boundary of the site.
15. I conclude, that given the modest scale of the proposed extension and the screening provided by the existing vegetation on the boundaries, that the development would not be directly visible and as such would not adversely impact on the public views across the open landscape from the AONB.
16. Consequently, I conclude, the proposal would not cause harm to the character and appearance of the open landscape of the AONB. The development would therefore not conflict with Policy CS12 of the Core Strategy and Policy DM15 of the emerging SADM and the Framework in this regard. These policies seek, amongst other things, to protect and enhance the landscape character and the amenity of the wider environment including the heritage and cultural value of the area.

Other matter

17. Third parties have raised concerns about the development disturbing the wildlife in the Redwell Marsh SSSI. The SSSI falls within the North Norfolk Coast Special Protection Area and Special Area of Conservation. It also lies within the North Norfolk Coast Ramsar area. In view of the modest scale of the development, I consider that the proposal would not adversely affect the SSSI and as such would accord with Policy CS12 of the Core Strategy and the advice contained within the Framework.

Conclusion

18. Notwithstanding my findings on the AONB, this does not outweigh the harm I have identified to the existing dwelling and the Conservation Area. For the reasons given above, and having regard to all other matters raised, I conclude the appeal should be dismissed

David Troy

INSPECTOR

17/01951/RM

Land between 11 and 12 Buckenham Drive Stoke Ferry



Parish:	Stoke Ferry	
Proposal:	Reserved Matters Application: construction of two dwellings	
Location:	Land Between 11 And 12 Buckenham Drive Stoke Ferry King's Lynn Norfolk	
Applicant:	BCKLWN	
Case No:	17/01951/RM (Reserved Matters Application)	
Case Officer:	Mrs N Osler	Date for Determination: 18 December 2017 Extension of Time Expiry Date: 9 February 2018

Reason for Referral to Planning Committee – BCKLWN application with objections

Neighbourhood Plan: No

Case Summary

Members will recall that this application came before them at January's Committee meeting but was deferred to enable the submission of amended plans to provide for a wider footpath. Amended plans have been received that show the requested 1.8m wide footpath.

The application is for the consideration of the Reserved Matters (access, layout, scale, appearance and landscaping) associated with outline permission granted under application 14/01454/O.

The submitted Reserved Matters reflect the indicative plan that was submitted under the outline application and shows a pair of semi-detached properties with shared access and parking to the rear. An existing footpath is relocated around the southern and eastern edges of the site and access for the garage of No.11 (the existing neighbouring property to the east) is retained via the shared access.

Key Issues

- Form and Character
- Neighbour Amenity
- Highway Safety
- Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application is for the consideration of the Reserved Matters (access, layout, scale, appearance and landscaping) associated with outline permission granted under application 14/01454/O.

The submitted Reserved Matters reflect the indicative plan that was submitted under the outline application and shows a pair of semi-detached properties with shared access and parking to the rear. An existing footpath is relocated around the southern and eastern edges of the site and access for the garage of No.11 (the existing neighbouring property to the east) is retained via the shared access.

SUPPORTING CASE

Applicant / agent chose not to submit a supporting statement.

RELEVANT PLANNING HISTORY

14/01454/O – Proposed residential development – Permitted

RESPONSE TO CONSULTATION

Parish Council: Concern that even though the entrance has been revised cars will still cross the footpath which is close to the school where children walk. Concern that where the garage is proposed is currently a walkway and proposed to be a road, children may still use this and it will be a danger.

Highways Authority: NO OBJECTION subject to condition

REPRESENTATIONS: Four letters of **objection** have been received. The majority of comments relate to the principle of development which has already been established. Issues relating to the current Reserved Matters application can be summarised as:

- Loss of footpath linking Buckingham Drive to Wretton Road and the school,
- Loss of light,
- Right of way to garage (No.11 Buckingham Drive),
- Noise due to relocation of footpath adjacent to boundary with No.11,
- Concern that when car is parked in front of garage or when garage doors are opened it will obstruct footpath (No.11).

LDF CORE STRATEGY POLICIES

CS08 - Sustainable Development

CS11 – Transport

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

PLANNING CONSIDERATIONS

The Principle of Development is already established by extant outline application 14/01454/O. As such the main issues for consideration in the determination of this application are:

Form and Character
Neighbour Amenity
Highway Safety
Other Material Considerations

Form and Character

The scale, mass and design of the proposed development are considered to be appropriate for the site and its wider setting and form an infill between existing pairs of two-storey semi-detached housing.

Neighbour Amenity

The increase in width of the footpath has resulted in the pair of properties moving slightly closer to No.12 (the property to the immediate west). However, it is not considered that this would result in any material change in impact than the original proposal.

The Committee Report that was considered by Planning Committee on 8 December 2014 stated: *Although the application seeks outline planning permission only, with all matters reserved, the indicative site plan shows that a pair of semi-detached houses can be satisfactorily accommodated on the site without having any material detrimental impact on either neighbouring properties (Nos. 11 and 12 Buckingham Drive) in terms of overshadowing, overlooking or overbearing impacts.*

The plans submitted under this reserved matters application are consistent with those considered at outline stage and show, contrary to one third party comment that there would be no material overshadowing, overlooking or overbearing impacts of a degree to warrant refusal.

The occupier of No.11 suggests that the relocation of the footpath adjacent to his western boundary would cause disamenity and that he has a vehicular right of way to his garage at the rear. At the present time the land is open to anyone and there is nothing stopping people congregating along this boundary or cars parking up against it. It is therefore considered that the location of the footpath is appropriate and would not give rise to unacceptable neighbour amenity issues. The current proposal retains a vehicular right of way to the garage at the rear.

Highway Safety

The Local Highway Authority has no objection to the proposed development on the grounds of highway safety. The LHA, in their consideration, must also consider pedestrian safety. The LHA raises no objection to the potential conflict in relation to the access to the garage serving No.11 and the relocated footpath. In this regard, whilst there is likely to be occasional conflict your officers do not consider that it would be any greater than the usual conflict of accesses crossing footpaths. The occupier of No.11 suggests that if his car is parked in front of the garage this would cause greater conflict. However, the area in front of the garage is not in the ownership of No.11 and therefore he would have no right to park his car in this location.

In consideration of the relationship between the proposed footpath linking Buckingham Drive and Wretton Road and the proposed shared access, it was considered reasonable to ensure, other than simply by virtue of the proposed different surfaces, that the two areas were clearly demarcated. As such amended plan were sought and the proposal now includes bollards between these two elements. In addition the footpath has been widened to 1.8m as requested by the Planning Committee thereby allowing more space for pedestrians to pass.

In relation to this footpath it is considered necessary for this to be in place prior to the commencement of development on the site to ensure pedestrian safety. This can be suitably conditioned if permission is granted.

Other Material Considerations

Crime and Disorder

The application raises no specific issues relating to crime and disorder.

CONCLUSION

Permission is sought for access, layout, scale, appearance and landscaping to support permitted outline application 14/01454/O. In this regard the submitted plans show a scheme that would sit comfortably in the streetscene and would not raise any material highway safety or neighbour amenity issues.

The majority of concerns expressed relate to the principle of development which is not for consideration at this reserved matters stage. The remaining concerns relate to the loss of a footpath linking Buckingham Drive with Wretton Road. As stated above, this footpath is to be retained and improved (properly surfaced). Other concerns relate to the access to the garage of No.11 which again is covered in the main body of the report.

The principle of development, foul and surface water drainage, contamination and boundary treatments were all been fully considered at the outline stage of which this reserved matters application is in full accordance.

No objections have been raised on technical grounds.

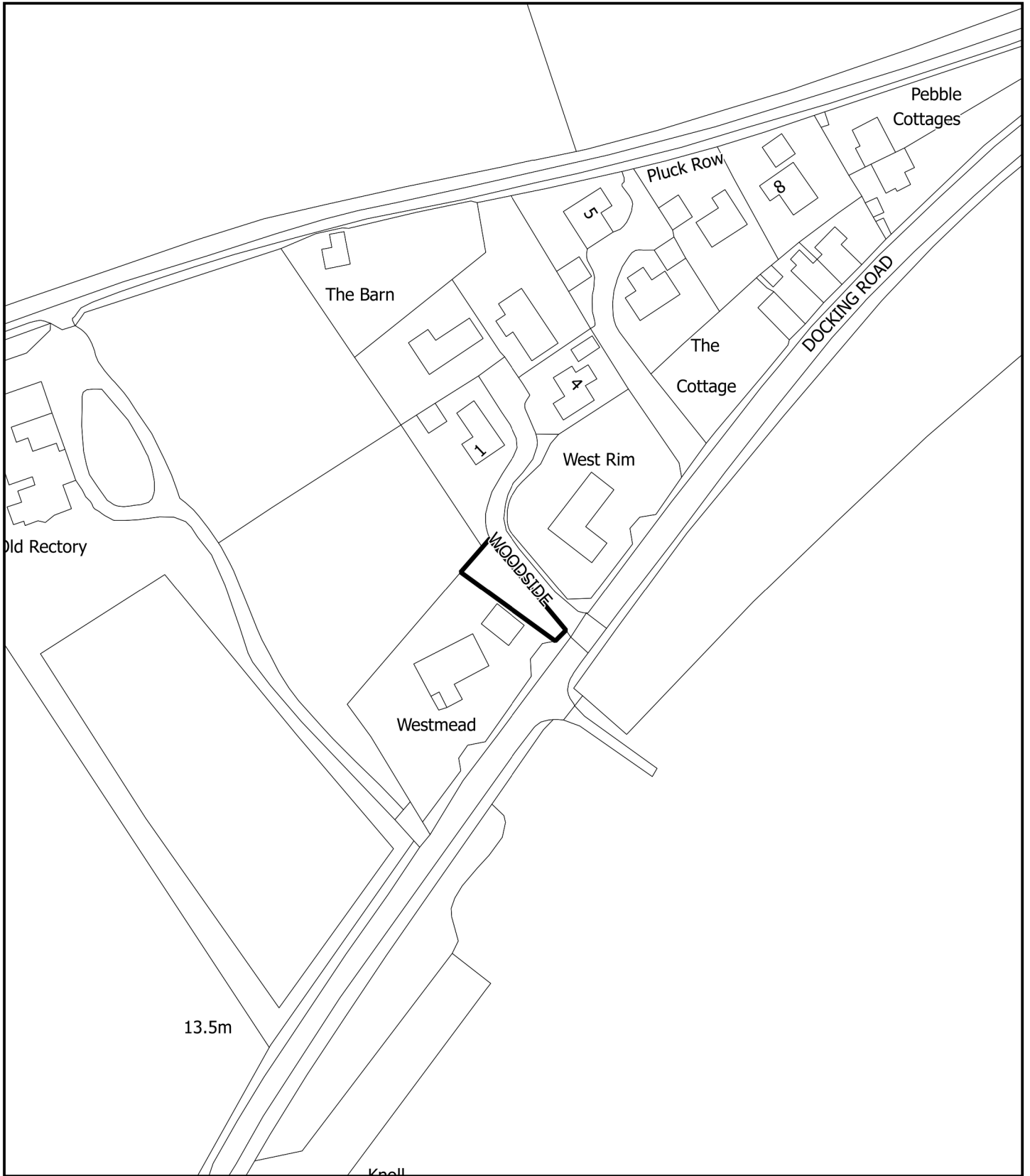
It is therefore recommended that the application be approved subject to the following conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans drawing nos: 17-L46-PL020E and 17-L46-PL021A.
- 1 Reason: For the avoidance of doubt and in the interests of proper planning.
- 2 Condition: Prior to the first occupation of the development hereby permitted the vehicular access shall be provided and thereafter retained at the position shown on the approved plan (drawing number 17-L46-PL020E) in accordance with the highway specification (Dwg. No. TRAD 1). Arrangement shall be made for surface water drainage to be intercepted and disposed of separately so that it does not discharge from or onto the highway carriageway.
- 2 Reason: To ensure satisfactory access into the site and avoid carriage of extraneous material or surface water from or onto the highway in the interests of highway safety in accordance with the NPPF and Development Plan.
- 3 Condition: Prior to the first occupation of the development hereby permitted the proposed on-site access, car parking and turning areas shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 3 Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety in accordance with the NPPF and Development Plan.
- 4 Condition: Notwithstanding the provision of Class A of Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking, amending or re-enacting that Order) no gates, bollard, chain or other means of obstruction shall be erected across the approved access unless details have first been submitted to and approved in writing by the Local Planning Authority.
- 4 Reason: In the interests of highway safety in accordance with the NPPF and Development Plan.
- 5 Condition: Prior to the commencement of development the 1.8m wide footpath (including the provision of bollards) connecting Buckingham Drive to Wretton Road shall be provided in accordance with the approved plan and shall thereafter be retained in that condition.
- 5 Reason: In the interests of the safety of users of the footpath in accordance with the NPPF and Development Plan.

17/02068/F
Spinneys End 1 Woodside Docking Road Burnham Market



Parish:	Burnham Market	
Proposal:	Change of use to garden land (retrospective).	
Location:	Spinneys End 1 Woodside Docking Road Burnham Market	
Applicant:	Mr Jeremy Neville-Eliot	
Case No:	17/02068/F (Full Application)	
Case Officer:	Mr James Sheldrake	Date for Determination: 3 January 2018 Extension of Time Expiry Date: 12 February 2017

Reason for Referral to Planning Committee – The Officer recommendation is contrary to the views of the Parish Council

Neighbourhood Plan: No

Case Summary

The application site lies within the development boundary of Burnham Market. Burnham Market is classified a Key Rural Service Centre according to Policy CS02 of the Local Development Framework Core Strategy 2011.

The proposal seeks change of use to garden land.

Key Issues

- Principle of the change of use
- Amenity issues
- Other material considerations

Recommendation

APPROVE

THE APPLICATION

The application site lies in the south-west of Burnham Market, within the development boundary. The change of use has already occurred.

The land is attached and owned by 1 Woodside to the north and is bounded on the south-west by the property known as Westmead, the north-east by the Woodside private road and has a low brick and stone wall on its frontage on the B1155 Docking Road to the south. On its boundary with the Woodside private road is close boarded timber fencing.

The existing site is gravelled and is bounded by close boarded timber fencing on the north-east and a low brick and stone wall on its frontage on the B1155 Docking Road. Google Street View imagery from 2011 indicates that previously there were trees on the site which have been removed.

The site was in the ownership of the Woodside developers in 1988 when consent was granted, but wasn't part of the application site. After the developers became bankrupt the land that makes up the current application site was attached to Plot 1 (No. 1 Woodside). The owners of No. 1 applied for planning permission for a cart shed on the land in question, however, it was determined that the site wasn't garden (because it didn't form part of the original plot for No. 1) and therefore a planning application to change the use of the land was required.

SUPPORTING CASE

The applicant submitted the following supporting statement (submitted 23/01/2018):

"We purchased Spinney's End in September 2016 as our retirement home. The property and garden were in substantial need of maintenance and updating to bring them up to standard. On purchase, approx. 2/3 of the area referred to by the application was fenced in forming part of the garden. However, the fence was rotten and in urgent need of replacement. Contained within the fenced area were three trees. One, a silver birch, was diseased (confirmed by our tree surgeon), was leaning towards Woodside and potentially a threat to 'West Rim', on the opposite side of Woodside. The remaining 1/3 of the area, towards Docking Rd was roughly grassed, and contained a large multi stemmed Leylandii Cypress, approx. 12 metres in height and on the border with 'West Mead' a lilac bush which was overgrown and collapsing onto the ground. The area had the appearance of wasteland.

Summary of our actions to improve Spinney's End:

Following purchase, we embarked on a programme of modernisation of the property and sought ideas to tidy and improve the garden. We were advised by a retired town planner and other professionals including Strata Architecture, who were subsequently appointed to design our extension and act on our behalf. The strip of land under discussion was considered by our advisors to be unattractive, due to the overgrown and poor state of the trees and shrubs. We were advised to tidy up the area so it was in keeping with a smart residential development. It was considered this would benefit our property and those of the other residents. Additionally, parking in Woodside can be a particular problem when any of the houses have several visitors. If additional cars are parked outside the houses, in the private roadway, turning can be difficult. We wanted to create an additional parking area for ourselves, which would potentially take the pressure off Woodside, at such times as parking is an issue. The idea of extending the fenced in area of the garden, shingling it to create additional parking and adding a wall to mirror that on the other side of Woodside entrance was proposed. It was also suggested we might add a cart shed at the north end of the strip.

Planning Committee
5 February 2018

This would be in keeping with many other properties in Burnham Market. Planning permission would be required for the cart shed. We discussed our plans with our neighbours who would be most affected by the development. The owners of 'West Rim', on the opposite side of the Woodside entrance, welcomed the proposed changes. Removal of the overgrown trees would improve the light to their house and garden and they saw them as unsightly and potentially a danger to their property. They felt the proposed cart shed wouldn't affect them. After lengthy discussions we progressed with the improvements and changes.

In September, Strata Architecture applied for planning permission for ground floor extensions to the house at the front and rear and for the proposed cart shed with storage above. We were advised by Strata, in consultation with the planners, that it was unlikely that permission for the cart shed would be given application due to height of the roof and they advised we withdraw this part of the application. We received approval for our house extension application during October. Strata subsequently made a further application for the cart shed on our behalf along with an application for Change of Use for the area to formalise the area as part of our garden. No issues were foreseen by the case officer with granting the change of use but again it was felt the height of the proposed building would be unacceptable and following their recommendation we withdrew the cart shed application. In summary, no evidence has been presented to us, the applicant, that the area at the entrance has been specifically designated as green space, it can therefore only be determined as 'ambiguous' space. It should be noted that the application site is not within the conservation area, and none of the trees have TPO's. Furthermore we understand that in accordance with current planning policies, there would be no need to provide green or open space for a small development such as Woodside. The works that we are in the process of carrying out will enhance the entrance to Woodside and improve the immediate area. These works will include an appropriate planting scheme to soften the appearance of the fence and wall and a landscape architect is currently advising us on this."

PLANNING HISTORY

17/01790/F: Application Permitted: 31/10/17 - Extension and alterations to dwelling; Single storey rear extension and replacement porch (Cart Shed removed from application)

2/88/4257/F: Application Permitted: 15/11/1988 - Construction of 7 No dwellings.

RESPONSE TO CONSULTATION

Parish Council: OBJECTION on the basis that the land is "designated Open Space" to "soften the street scene and the entrance into Woodside and presumably for the enjoyment of the residents of all four houses in the cul-de-sac".

Highways Authority: NO OBJECTION

Norfolk Coast Partnership: NEUTRAL COMMENT whilst the proposal will I believe have no impact on the wider visual quality of the AONB, the development will be at odds with the rest of the street scene and is awkwardly placed. The open space softens the development area so would be a shame to lose this.

Open Spaces Society: OBJECTION on the basis of information submitted by the objecting neighbour.

REPRESENTATIONS

11 pieces of correspondence were received to the proposal from the occupants of 1 neighbouring property. The grounds of **objection** are summarised below:-

- The land is outside the Woodside development application site and isn't part of the applicants garden.
- The land is open space/ amenity land set aside for landscaping to soften the boundary and screen the development.
- The applicants have breached the landscaping condition of Application 2/88/4257/F and haven't fulfilled the Borough Council's original vision for the development.
- The access driveways to the Woodside development were envisaged as being flanked by hedges in Application 2/88/4257/F.
- On the site plan for Application 2/90/1671/F "Construction of dwelling house with associated car park" it indicates that the site currently being assessed was "intended to be landscaped".
- The change of use of the land contravenes SADMP Policy DM15 on the grounds of "visual impact", "the loss of important open spaces and greenery" and "significant adverse impact on the amenity of others".
- The change of use to garden land would degrade and undermine the secluded nature of Woodside.
- What the applicants have already done is unattractive and the fences don't soften the development.
- The amount of parking is excessive.
- The applicants have removed the few trees that were planted on the site.
- The applicants should have to re-implement/ implement landscaping on the site and the boundary to the site.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM22 - Protection of Local Open Space

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

PLANNING CONSIDERATIONS

The main issues for consideration in the determination of this application are:

- Principle of the change of use
- Amenity issues
- Other material considerations

Principle of the change of use

Policy DM2 (Development Boundaries) of Site Allocation and Development Management Policies Plan (2016) states that "Development will be permitted within the development boundaries of settlements shown on the Policies Map provided it is in accordance with the other policies in the Local Plan". The site is within the development boundary of Burnham Market and therefore the relevant SADMP policies are DM15 (Environment, Design and Amenity) and DM22 (Protection of Local Open Space)

Policy DM15 states that "Development that has a significant adverse impact on the amenity of others or which is of a poor design will be refused".

Policy DM22 states that the Local Planning Authority will consider the following factors:

Public access;
Visual amenity;
Local distinctiveness;
Landscape character;
Recreational value;
Biodiversity, geodiversity
Cultural value and historic character
Whether the site has been allocated for development in the local plan.

Proposals that will result in the loss or restriction of access to locally important areas of open space will be refused planning permission unless such loss can be offset by the replacement of equivalent or higher standard of provision or the wider benefits of allowing development to proceed outweigh the value of the site as an area of open space."

Amenity Issues

The site is within the development boundary of Burnham Market, not part of any previous application site, not designated open space/ amenity land and has been fenced off and private (this is clear from Google Street View imagery from 2011). It is clear that the site wasn't previously garden and was outside the plot of No.1, although physically attached, and the current application seeks to retrospectively regularise the change of use of the land to

Planning Committee
5 February 2018

garden. It is of note that the site was originally transferred to No. 1, and has never been publicly accessible and usable open space.

The main issue to consider is whether the change of use to garden land complies with Policy DM15 and Policy DM22.

Policy DM22 is designed to ensure there is suitable protection for locally important open space. The view of the officer in this case looking at the criteria in DM22 is that the application site has never been publicly accessible; isn't locally distinctive; doesn't make a significant contribution to landscape character; has never provided recreational value; it provides minimal biodiversity and geodiversity value; and provides no cultural value or contribution to historic character.

With regard to Policy DM15, although the change of use to garden land has already occurred, it doesn't result in an adverse impact on the amenity of others and isn't significantly out of character in the street-scene given the other gardens and parking areas visible in the immediate vicinity.

Burnham Market Parish Council, the objecting neighbour and the Open Spaces Society (after being contacted by the neighbour) have asserted that the application site is amenity land/ public open space to soften the Woodside development and that the conditions and original vision of that application should therefore apply. This is incorrect; the application site currently being assessed wasn't part of the Woodside development application site (App: 2/88/4257/F (Permitted: 15/11/1988 - Construction of 7 No dwellings) but was simply in the ownership of the applicants of that application and was not covered by conditions of the planning permission. The landscaping conditions (referred to in correspondence between the occupier of No.1 and the Local Planning Authority over 25 years ago) don't apply to the current application site and, separately, the conditions of that application are not enforceable because of the time that has lapsed (over 10 years). Additionally, although the access driveway to Woodside was envisaged as being flanked by hedgerows, fences were constructed instead and the fence surrounding the current application site matches the fence on the opposite side of the access driveway.

The objecting neighbour has commented that the site plan for App: 2/90/1671/F ("Construction of dwelling house with associated car park" not implemented) shows the current application site as "fully landscaped". The current application site was not within the application site of App: 2/90/1671/F and the indicative planting visible on that site plan is not significant to the principle of the change of use to garden land over 25 years later.

Burnham Market Parish Council are concerned that the land being considered is "designated Open Space", which it is not. The site is within the AONB, like the rest of Burnham Market; however, given that it is in the development boundary, the conversion of the land to garden will not have any impact on the wider AONB. This view is supported by the Norfolk Coast Partnership Officer.

Other material considerations

The applicants had originally proposed a cart shed but this has been removed from the application and comments covering that issue are not relevant to the principle of the change of use to garden land.

Burnham Market Parish Council and the objecting neighbour have made reference to the removal of trees from the site prior to the submission of the application. The trees visible on Google Street View imagery were not covered by Tree Preservation Orders or in the Burnham Market Conservation Area and therefore their removal didn't require consent.

Planning Committee
5 February 2018

The objecting neighbour has also commented that the additional car parking space is incongruous and "out of all proportion to their typical parking requirements". Because the principle of change of use is considered acceptable, residential parking on the site would be acceptable. Additionally, although the objecting neighbour finds the work already completed to change the use of the land unattractive; the visual impact of the development isn't significantly different to other garden and parking areas along Docking Road, and the materials of the fence and wall match others in the vicinity.

CONCLUSION

The principle of the change of use is acceptable and the change doesn't result in a significant adverse impact on the amenity of others or any significant visual harm to the character of appearance of the area.

The proposal therefore accords with policies DM1, DM2, and DM15 of the Site Allocations and Development Management Policies Plan 2016 and the provisions of the National Planning Policy Framework 2012 and is sustainable development. It is therefore recommended for approval.

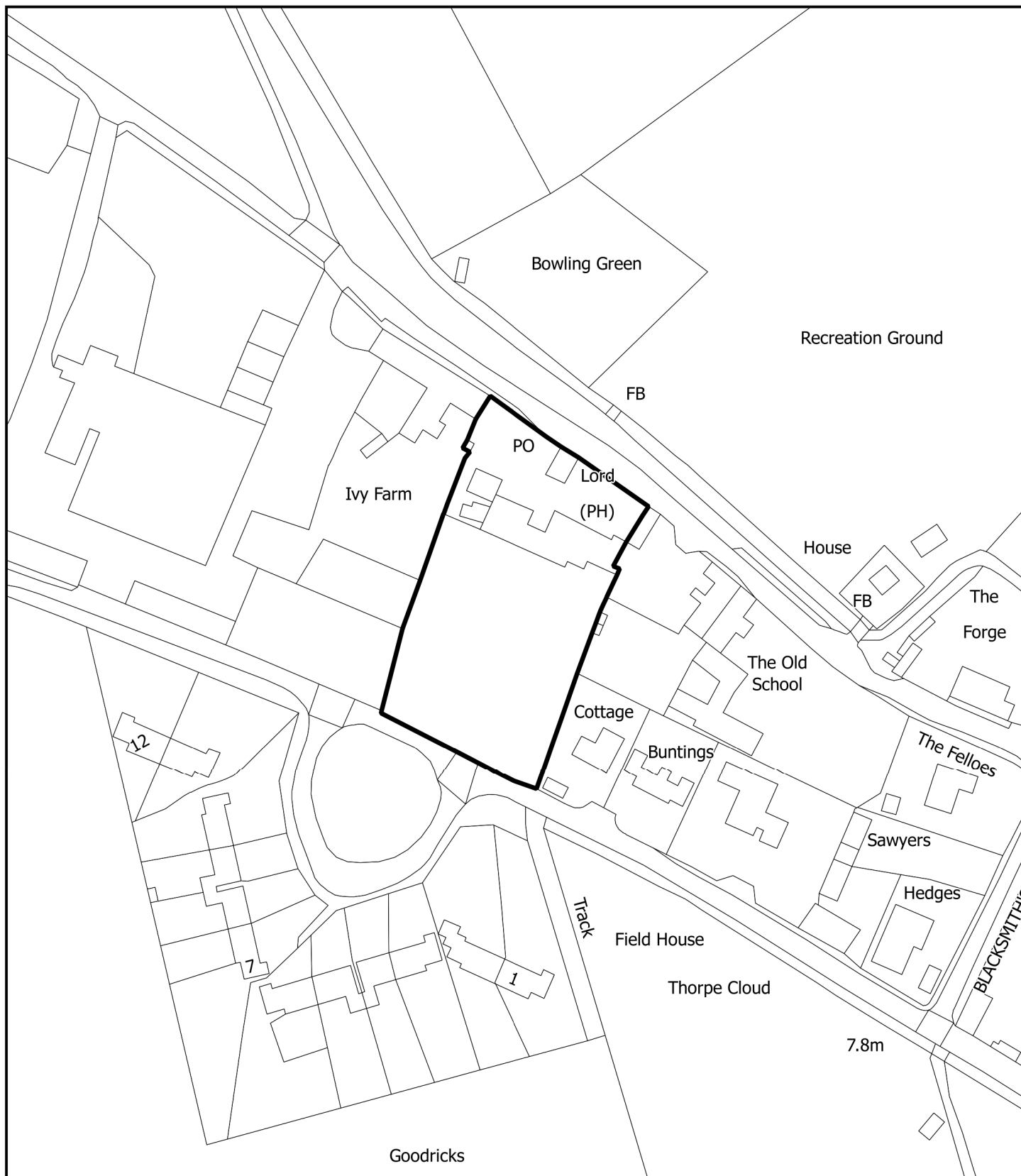
RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be carried out in accordance with the following approved plan:
DWG 356-10B Location and site plan (12th December 2017)
- 1 Reason: For the avoidance of doubt and in the interests of proper planning.

17/01753/F

The Lord Nelson Walsingham Road Burnham Thorpe



Parish:	Burnham Thorpe	
Proposal:	Erection of part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park and installation of replacement LPG tank, following demolition of two storage sheds	
Location:	The Lord Nelson Walsingham Road Burnham Thorpe Norfolk	
Applicant:	Greene King	
Case No:	17/01753/F (Full Application)	
Case Officer:	Mrs K Lawty	Date for Determination: 14 November 2017 Extension of Time Expiry Date: 9 February 2018

Reason for Referral to Planning Committee – The views of Burnham Thorpe Parish Council are contrary to Officer Recommendation

Neighbourhood Plan: No

Case Summary

The site is located on the southern side of Walsingham Road, Burnham Thorpe and consists of a two storey, Grade II listed public house with associated pub garden and parking areas.

The site is flanked by residential properties to the east, a residential property and farm buildings to the west and the village green is on the opposite side of Walsingham Road to the north.

As well as being a listed building, the site is within Burnham Thorpe's Conservation Area. The site, and the whole village of Burnham Thorpe, is within the Area of Outstanding Natural Beauty.

The application is for full planning permission for the erection of a part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park, creation of additional parking spaces and installation of replacement LPG tank, following the demolition of two storage sheds. An application for listed building consent is also submitted and is considered under reference 17/01754/LB, also on this agenda.

During the course of the application amended plans have been submitted in response to third party comments received.

Key Issues

- * Principle of development;
- * Impact on AONB;
- * Design character and appearance and Impact on Heritage Assets;

- * Impact upon residential amenity;
- * Highway issues;
- * Arboriculture Implications
- * Other material considerations

Recommendation
APPROVE

THE APPLICATION

The application is for full planning permission for the erection of a part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to the car park, creation of additional parking spaces and installation of replacement LPG tank, following the demolition of two storage sheds. An application for listed building consent is also submitted and is considered under reference 17/01754/LB, also on this agenda.

During the course of the application amended plans have been submitted in response to third party comments received. Firstly the scale of the rear extension has been reduced so that the eaves of the two storey part of the extension still sit below the existing eaves height. The ridge height is now well below the existing ridge height. The external materials have also been altered to break up the massing of the proposed extension. The two storey section will be rendered, the ground floor section will be brick and the toilet extension will be finished in feather edge boards.

Secondly, additional car parking spaces are proposed along the western boundary of the rear garden. This will result in a total of 24 car parking spaces (including two disabled spaces close to the pub entrance) which will be an increase of 11 spaces.

SUPPORTING CASE

The application has been supported by a Design and Access Statement (DAS), a Historic Building Report and Tree Survey.

In support of the proposed development the applicant has submitted the following:

'The planning and listed building consent applications at The Lord Nelson in Burnham Thorpe have been made by Greene King and propose a part single, part two storey rear extension and two single storey side extensions (following the demolition of two storage sheds), installation of a new kitchen, provision of a disabled toilet and enlargement of the pub car park. The front store building will be retained as existing. The applications were submitted following positive pre-application advice from Council Officers.

The pub is currently closed. Greene King are in the process of looking for a new tenant for the pub and know that, in this type of location, a strong food offer will be needed as well as a high quality 'local' pub environment. To this end, the proposals incorporate a good quality new kitchen and an attractive customer seating area in a new rear extension. The overall number of covers will remain largely the same as existing because seating from the former Victory Bar will be relocated to the new dining room extension.

At the request of the Parish Council and the Highway Authority, the proposals have been amended to incorporate additional car parking spaces in the rear garden, an increase in the total from 13 to 24 spaces. Disabled spaces will be allocated at the front of the pub.

Greene King know that they need to offer on-site accommodation in order to secure the best managers. The existing flat does not comply with fire regulations and so the first floor of the rear extension will enlarge the manager flat to make it an attractive and safe residential environment.

The works will allow the Grade II listed public house to continue to be used for its original purpose for many more years to come. The public house is one of the only community/commercial facilities in Burnham Thorpe so it is vital that it re-opens to provide a place for people to eat, drink and socialise and also as a source of local employment.

The proposals have been carefully designed with input from Planning and Conservation Officers and, as a result of comments during the application process, the height of the rear extension has been reduced so that the eaves height sits below the eaves height of the main pub. The ridge height of the two storey section sits about halfway down the main roof. The gable ended extensions complement the scale and form of the original building and a traditional palette of materials have been chosen to match the existing pub so that there is no conflict in texture or colour. The extensions and alterations will respect the historic and architectural interest of the pub and protect the character and appearance of Burnham Thorpe Conservation Area.'

PLANNING HISTORY

17/01754/LB: Under consideration:- Listed Building Application: Erection of part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park and installation of replacement LPG tank, following demolition of two storage sheds - The Lord Nelson, Walsingham Road, Burnham Thorpe;

08/02554/LB: Application Permitted: 19/12/08 - Proposed Porch to Front Entrance of Existing Public House - The Lord Nelson, Walsingham Road, Burnham Thorpe;

08/02554/DISC_A: Discharge of Condition final letter: 25/02/10 - DISCHARGE OF CONDITIONS 3 and 4: proposed porch to front entrance of existing public house - The Lord Nelson, Walsingham Road, Burnham Thorpe;

08/02553/F: Application Permitted: 02/01/09 - Proposed Porch to Front Entrance of Existing Public House - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/95/1491/F: Application Permitted: 20/12/95 - Alterations to existing garage to form store - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/95/1170/LB: Application Permitted: 13/10/95 - Conversion of barn to form restaurant with link to public house to include ventilation stack over proposed store and removal of unauthorised ventilation outlet (amended design) - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/95/1169/F: Application Permitted: 13/10/95 - Conversion of barn to form restaurant with link to public house to include ventilation stack over proposed store - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/94/1361/LB: Application Permitted: 05/10/94 - Conversion of barn to form restaurant with link to public house - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/94/1360/F: Application Permitted: 05/10/94 - Conversion of barn to form restaurant with link to public house - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/94/0327/LB: Application Permitted: 24/05/94 - Extension and alterations and demolition of garage and timber store - The Lord Nelson, Walsingham Road, Burnham Thorpe;

2/94/0326/F: Application Permitted: 24/05/94 - Extension and alterations - The Lord Nelson, Walsingham Road, Burnham Thorpe;

RESPONSE TO CONSULTATION

Parish Council: Initial **OBJECTION** to original scheme relating to:

1. The impact of the two-story extension is considered the most damaging aspect of the proposed development, and would lead to substantial harm to the heritage asset.
2. Insufficient parking
3. External lighting should be controlled
4. 4 neighbouring properties will be impacted by the development
5. Impact on trees

Objection to latest, amended scheme relating to:

1. BTPC objects to the proposal due to its unnecessary negative impact on the core existing building, the original building's setting & to amenity value of neighbouring properties. The following design changes can be made to enable us to withdraw our objection:
 - a) The mass & impact of the extension should be reduced by reducing eaves height of the two storey extension by approximately 300mm and reducing roof pitch to 30 degrees or less – bringing the ridge line down by about 1 metre.
 - b) A hip instead of gable end would also be more sympathetic.

This approach could also be applied to the single story extension but our primary concern is the two storey extension.

BTPC will withdraw its objection once satisfactory changes are made. We are keen that the pub reopens as soon as possible.

2. There are a number of trees and hedging features on the site important to the setting and amenity of the Listed Building and Conservation Area. These are not shown on the plans and we assess at least two trees would be adversely impacted or lost by the proposal. Removal of trees in a Conservation Area requires prior notification to the Borough Council and we therefore ask that the applicant undertakes a tree survey to BS5837:2012 to establish impact and information needed to ensure adequate protection is provided.
3. There will be a net loss of habitat and as the welcome parking provision will impact on the amenity of the setting of the Conservation Area / Listed Building and of adjacent properties, we strongly ask that a landscape/planting scheme is provided. New tree/hedge planting is also needed to screen and separate the parking area from the garden and to screen adjacent property (Ivy House Farm). The parking area should be porous (gravel) to help support tree growth and minimise runoff.

Planning Committee
5 February 2018

4. Any outside lighting of the development should be sensitive to ensure this is not lost as this would adversely affect the setting of the Listed Building and the Conservation Area, as well as amenity value to residents and visitors. We strongly urge the Council to place a condition on any Planning Consent to the effect that external lighting should be minimised, of a low level, down lit, full cut off type and should be agreed in writing with the Council prior to installation.

Highways Authority: NO OBJECTION - conditionally

Arboricultural Officer: NO OBJECTION

Environmental Health & Housing - Environmental Quality: No comments

Community Safety & Neighbourhood Nuisance Team: NO OBJECTION – conditionally: refrigeration equipment, ventilation and extraction system, entrance doors.

Norfolk Coast Partnership: Supports - The Norfolk Coast Partnership supports the modernisation of the pub as long as the Borough Council Conservation Officers are happy with the suggested design elements. Request a condition re: external lighting and light pollution in response to NPPF 125 and Norfolk County Council's Environmental Lighting Zones Policy both recognise the importance of preserving dark landscapes and dark skies.

REPRESENTATIONS

Original scheme only; no comments received to the amended plans.

4 objections received (from 3 people) referring to the following:-

- Damage to the historic building: the pub is a famous C17 listed building, with close associations with Lord Nelson, after whom it is named. The height of both the proposed 2 storey and single storey rear extensions seems excessive and out of keeping with the scale of the listed building.
- The new elevations are shown as being finished in brickwork, presumably on grounds of cost, and again would be out of keeping with the existing building when the rest of the building is clunch. The material should be changed to chalk/flint.
- The amount of on-site car parking is inadequate for the size of the new building which is proposed. There is no public bus service in the village and the overwhelming majority of customers will be arriving by car.
- It is not acceptable for parking to continue (and become worse) on the verge alongside the River Burn. Erosion thus caused to the adjacent verge leads to soil run-off into the stream, threatening the fragile ecology of this important and already-degraded chalk stream. Furthermore, lines of cars here are unsightly and pose a traffic hazard.
- The proposed extension directly impedes the view (including from the bedrooms of my house) of the beautiful east facade of the GII listed barn adjacent to the pub at Ivy Farm, as well as damaging the setting both of that building and of the pub itself. The rear extension needs to be significantly reduced in height and redesigned so as to fit better with its historic surroundings.
- The application does not show any of the trees which are located on and adjacent to the site although it is clear that at least one semi-mature Oak will need to be removed and others will need to be protected during the construction process. Trees are a key feature to this site within the context of the building and its setting and a replacement tree/s should be planted to compensate for the loss

- Two neutral comments referring to the following:
- Although I don't object to the application, I can't support it either, despite wishing to see the pub re-open as soon as possible.
- Parking - If the pub must be extended, parking must be addressed.
- The first floor extension seems unnecessarily high and modern for a Grade II listed building and, with a bit of modification, it could fit in much better with the existing building and location.
- A realistic alternative plan is being drawn-up putting the extra staff accommodation rooms required into the large roof space of the main building. The existing bricked-up windows suggest that it has been used in the past.
- I fully support the re-opening of the pub and hope that the applicant can address any amendments to the plans as quickly as possible.
- It is important that the Council add a condition requiring all external lighting to be approved prior to installation - there is a danger - all too frequently shown by the majority of pubs in the area, to light them excessively and intrusively. This is essentially a dark landscape within the Conservation Area and AONB and external lighting is likely to be highly intrusive unless subtle and carefully sited

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

CS10 - The Economy

CS11 – Transport

CS12 - Environmental Assets

CS13 - Community and Culture

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM3 - Infill development in the Smaller Villages and Hamlets

DM9 - Community Facilities

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

National Planning Policy Framework – sets out the Government’s planning policies for England and how these are expected to be applied.

National Planning Practice Guidance - Provides National Planning Practice Guidance, in support of and in addition to the NPPF

PLANNING CONSIDERATIONS

The application raises the following issues:-

- Principle of development
- Impact on AONB;
- Design character and appearance and Impact on Heritage Assets;
- Impact upon residential amenity;
- Highway issues;
- Arboricultural Implications
- Other material considerations

Principle of new development

The site comprises the Lord Nelson Public House, outbuilding, sheds, pub garden and associated car park. The proposal is for the erection of a part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to the car park and the installation of replacement LPG tank, following the demolition of two storage sheds.

The site is a Grade II listed building located within the village of Burnham Thorpe. The site is also an Area of Outstanding Natural Beauty (AONB) and in the Conservation Area.

Nationally, the NPPF seeks a high standard of design, and design that takes the opportunity to improve an area. Some of the key objectives referred to are for development which responds to their local context and creates or reinforces local distinctiveness, are visually attractive as a result of good architecture and appropriate landscaping.

A public house on this site is long established and the historic connection to Lord Nelson is well documented, given that he and his family resided in the village and are alleged to have visited the site.

The public house was last renovated in 1995. These current proposed renovation works would ensure the retention of the use of the listed building as a public house and also improve the facilities to offer increased dining facilities. During the course of the application the plans have been amended to reduce the height of the rear extension and additional car parking facilities have been introduced within the site.

In terms of National Policy paragraph 28 of the NPPF refers:-

‘Planning policies should support economic growth in rural areas in order to create jobs and prosperity by taking a positive approach to sustainable new development. To promote a strong rural economy, local and neighbourhood plans should:

Planning Committee
5 February 2018

- support sustainable rural tourism and leisure developments that benefit businesses in rural areas, communities and visitors, and which respect the character of the countryside. This should include supporting the provision and expansion of tourist and visitor facilities in appropriate locations where identified needs are not met by existing facilities in rural service centres; and

At a local level Core Strategy Policy CS10 is particularly relevant to this proposal. It refers:

'Retail, tourism, leisure, and cultural industries are key elements of the economic and social vibrancy of our borough, and contribute to the regeneration and growth of the area ...

The Council will promote opportunities to improve and enhance the visitor economy:

- Supporting tourism opportunities throughout the borough.
- Promoting the expansion of the tourism (including leisure and culture) offer in Hunstanton to create a year-round economy.
- Smaller scale tourism opportunities will also be supported in rural areas to sustain the local economy, providing these are in sustainable locations and are not detrimental to our valuable natural environment.

Further Policy DM9 of the SADMP 2016 encourages the retention of existing community facilities and the provision of new facilities. Public houses are one such community facility cited in the preamble to the policy.

The Core Strategy relevant policies are CS01, CS02, CS06, CS08, CS10 and CS12. SADMP 2016 relevant policies are DM3, DM9, DM15 and DM17.

Subject to the details of the application, the development proposal complies with local plan and national policies.

Impact on AONB

The whole of the village of Burnham Thorpe is within the AONB.

The NPPF states nationally designated areas, such as Areas of Outstanding Natural Beauty (AONB), have been confirmed by the Government as having the highest status of protection in relation to landscape and scenic beauty. The conservation of the natural beauty of the landscape and countryside should therefore be given great weight in planning policies and development control decisions in these areas.

In this case there is development to the east and west of the site and also to the south on Creak Road. On the opposite side of the road to the north of the site are the open playing fields and bowling green.

There is a brick and chalk roadside wall to part of the front (northern) site boundary and an established hedge to the southern roadside boundary. Brick and chalk walls form part of the west boundary with hedgerows forming the majority of the remaining boundaries.

The public house is stepped back within the site whilst the buildings which flank the site are set further forward on the back of the highway. For this reason public views of the site are limited from the east and west. The most prominent view is that across the open playing fields and the proposed works will largely be unseen from this viewpoint as they are to the rear of the building. Therefore the most prominent public view will remain largely unchanged.

Views from the rear (south) are currently limited due to the existing hedgerow boundary, but views of the proposed extensions would be seen against the backdrop of the building or even the neighbouring buildings depending on the angle.

With existing development around it and a degree of screening from existing planting, the site is not a highly visible, open site. Long public views of the rear of the site from outside the village are limited.

The Norfolk Coast Partnership raises no objection to the proposal subject to a condition requiring details of any external lighting to prevent light pollution and preserve the dark landscapes and dark skies of the AONB as per paragraph 125 of the NPPF and the policy requirements of Policy DM15. This has also been requested by the Parish Council and third parties. It is recommended that an appropriately worked condition is imposed.

In this case it is considered that given the scale of the proposed works it will not have a major impact on the wider landscape character of the North Norfolk AONB and the natural beauty of the wider landscape and countryside will be conserved.

Design, Character and Appearance and Impact on Heritage Assets

The National Planning Policy Framework (NPPF), specifically paragraphs 131 and 132, state that: "When determining planning applications, local authorities should take account of: the desirability of new development making a positive contribution to local character and distinctiveness and the desirability of sustaining and enhancing heritage assets. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting".

The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) places statutory duties upon Local Planning Authorities. Section 66 refers that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 72 requires the LPA to pay special attention to the desirability of preserving or enhancing the character or appearance of a Conservation Area when determining applications affecting buildings or land within the Conservation Area or its setting.

Furthermore, Policy CS12 of the Core Strategy states that "The historic and built environment play a crucial role in delivering environmental quality and well-being. Therefore the Council will preserve and where appropriate enhance its qualities and characteristics.

Policies CS08 and DM15 of the development plan require new development to be well designed and to have due regard to the surrounding built form and local environment. This is derived from the NPPF which emphasises the importance of good design as an important aspect of sustainable development. CS08 also promotes the optimising of site potential, whilst protecting and enhancing the historic environment.

This application proposes part single and part two storey extensions to the rear of the existing public house, refurbishment and revised internal layout and improved parking facilities.

The rear extensions are shown to be constructed from a mixture of brick, render and horizontal timber boarding with clay pantile roofs. This is in contrast to the brick and clunch walling of the existing listed building and marks the difference between the original building and the new additions.

The original submission saw a taller two storey extension to the rear of the existing listed building and no change to the amount of on-site parking facilities. However, during the course of the application and in response to concerns raised by statutory consultees, third parties, the Parish Council and your officers, the plans have been amended to show a rear extension of lower proportions and increased parking facilities using part of the public house garden to accommodate 11 additional parking spaces.

The proposed rear extension is now subservient in height to the existing building. The ridge height of the two storey section sits about halfway down the main roof.

The Parish Council has no objection to the rear extension in principle but has maintained their objection to its height, stating that the eaves should be further reduced in height by an additional 300mm and the roof pitch should be dropped to 30 degrees which would bring the ridge line down by 1m. Additionally they consider this roof section should be hipped instead of a gable to be more sympathetic.

However, your officers consider that dropping the eaves and changing the pitch would result in a somewhat 'squat' extension which would be out of proportion with the existing building. It would be marginally less visible from some distance away as the height would be slightly reduced, but it is considered the extension would not relate as well to the existing building. Additionally, as described above, long public views of the rear extension are limited by surrounding development and planting.

The Parish Council suggestion of a hipped roof has not been pursued as there are no hipped roofs on the existing listed building or on outbuildings within the grounds of the public house. Whilst there are examples of hipped roofs elsewhere in the village, including buildings which flank the site, it is considered this would introduce a design feature that does not currently exist within the site.

The proposed additional car parking spaces will encourage visitors to park on site, to the side of the listed building. The majority of the parking spaces will be behind the existing front boundary wall so will be hidden from public view. This additional parking will also alleviate pressure to park on the verges close to the pub, which will benefit the area in terms of visual amenity the additional parking facilities should therefore have a beneficial impact upon the character of this part of the village and the Conservation Area.

The Conservation Officer and Conservation Areas Advisory Panel have no objection to the amended scheme. An application for listed building consent has also been submitted and this appears on this agenda with a recommendation of approval.

It is considered that the resulting scheme, as amended, is of appropriate design, scale and mass to ensure that the character of the listed building is maintained given that there are no outstanding concerns from officers regarding design, character and appearance the recommendation is to approve.

Impact upon Residential Amenity

The use of the public house exists and there are no issues in principle to the improvement of facilities at the site.

The impact of the proposed development will fall mainly upon the nearest residential properties which are either side of the site, to the east and west.

Ivy Farm to the west has upper floor windows which face the site and the proposed new parking spaces adjoin the boundary wall to this property. However, there is either an existing wall or timber fence between the properties so that there would be no spillage of headlights onto this adjoining property. Currently the western part of the site is used for a combination of vehicle parking, vehicle deliveries, food preparation, storage areas and external seating area/pub garden. Any noise from car doors or general activity would not likely be significantly greater than its current usage.

In terms of the proposed extensions to the pub the distance between Ivy Farm and the proposed works means that no material loss of light would occur and it would not be overbearing.

The relationship with residential properties to the east has also been examined. In terms of proximity the proposed physical works will not likely have any more impact than the former extensions to be replaced. The parts of the building adjacent to the eastern boundary will be demolished and the new elements are further into the site. They will be deeper than the existing extensions but set further away. The two storey element is located towards the centre of the site and therefore no material loss of light would occur and it would not be overbearing.

Again the relationship between the proposed works and properties to the south has been examined. The proposed extension retains a degree of space between it and the nearest properties which are some distance away. Accordingly the proposal will not likely have a significantly detrimental impact upon the amenity of the occupants of neighbouring properties in terms of overlooking, the development causing overshadowing or the dwellings being over bearing.

The Council's Community Safety and Neighbourhood Nuisance Team (CSNN) have been consulted and requested conditions to secure details of the extraction equipment, refrigeration equipment and self-closing entrance doors. These details can be provided by planning condition.

No third party comments have been received referring to neighbour amenity. One comment referred to the loss of a view but this is not a material planning consideration.

In summary it is considered that the proposal will not have a significantly detrimental impact upon the amenity of the occupants of neighbouring properties in terms of overlooking, the development causing overshadowing or being overbearing, or that the development will result in disamenity in terms of general noise and disturbance or smells.

Highway Issues

The current pub car park is laid to gravel and not demarcated. The number of cars it can accommodate is therefore questionable. However, the footprint of the pub is proposed to be increased and the amended scheme shows that the number of parking spaces has been increased in line with policy requirements and parking standards.

The Highways Authority, Parish Council and third party concern initially raised regarding insufficient parking spaces has therefore been addressed.

The Highways Authority has also requested improvements regarding the position of the vehicle access to the site on Walsingham Road. A more centralised access point would help

Planning Committee
5 February 2018

to slow traffic down when entering the site and also keep vehicles and pedestrians separate. Accordingly, it is recommended that a condition be imposed to consider the method of achieving this without harm to the setting of the listed building.

Subject to conditions there are no outstanding highway safety issues.

Arboricultural Implications

The Parish Council has commented that the application does not include a tree survey. This has been provided during the course of the application.

The arboriculture report identifies a total of nine individual trees and one tree group across the site and a boundary hedge. The report concluded that the proposal would result in the removal of three 'moderate quality' B category trees and one 'low quality' C category tree (T3) which would have only modest localised visual impacts, and would not materially harm the character and appearance of the area. The report confirms that the removal of the trees can be mitigated by the provision of new trees and landscaping.

The Arboricultural Officer raises no objection to the proposal subject to the condition that the development is carried out in accordance with the arboricultural statement and plans and that a landscaping scheme is provided to secure the replanting of trees as appropriate.

The remaining trees not affected by the development will retain the protection afforded to trees located within a conservation area.

Other material considerations

Flood risk: The site is in Flood Zones 2 & 3. However, the extension does not exceed 250sqm and therefore a FRA is not required. The applicant has submitted information to say that the floor levels will be set no lower than existing levels.

SSSI: The site lies within 2km of a SSSI. The proposal does not affect the species/habitats for which the SSSI was designated.

Third party comments: Most of the comments raised by residents and the Parish have been addressed above but there are some outstanding issues.

During the initial consultation exercise comment was made that the upper floor of the existing building could be better utilised to provide additional rooms to reduce the extension required for staff accommodation. This approach was reviewed by the applicant but, due to the impact of the internal changes on the fabric of the listed building and for building regulation purposes, this was discounted.

Residential use: The application includes residential accommodation for use of staff connected with the running of the business. It is recommended that use of this accommodation is controlled by way of planning condition to ensure that it remains available for this purpose and is retained only for purposes ancillary to the business.

CONCLUSION

In policy terms the site is an established public house within the village of Burnham Thorpe where limited development is permitted provided it is in harmony with the building characteristics of the area and complies with other national and local policies.

The building is listed and has historic links to Lord Nelson who lived in the village and allegedly visited the public house in the late 18th century. The proposed works to extend the building have been reduced in height so that the most visible element, the two storey rear extension, is now subservient to the main building and far less conspicuous in context. In this case the proposed amended scheme responds much better to the scale of the listed building as well as the local character. It now adequately reflects the identity of local surroundings and incorporates local materials. It is not considered the proposal would have a harmful impact upon the heritage assets of the Grade II listed building or the wider Conservation Area.

The proposed works would result in an enhanced offer at the site and in this regard the proposal complies with policy CS10.

Improved parking facilities can be provided within the site which will help alleviate the need to park along the highway verges adjacent to the site. The Highways Authority raises no objection to the amended proposal.

The works and improved parking facilities will result in the loss of four trees but this can be compensated for elsewhere within the site and secured by way of planning condition.

The impact of the proposal upon the amenity of adjacent residents has been assessed and should result in no significantly detrimental impact given that the use of the site as a public house already exists.

To summarise, in light of the above the proposed development is considered to comply with advice within the NPPF, Local Plan Policy and the Core Strategy Policies. Accordingly it is recommended that this application be approved subject to the following conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the approved plans:
 - Drawing No. 5596/401E, Site Plan as Proposed
 - Drawing No. 5596/402E, Floor Plans as Proposed
 - Drawing No. 5596/403E, Elevations as Proposed
 - Drawing No. 5596/404E, Elevations as Proposed
 - Drawing No. 5596/405D, Block Plan
 - Drawing No. 5596/407 Site Plan as Proposed
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: Notwithstanding the details that accompanied the application hereby permitted, no development shall take place on any external surface of the development until the type, colour and texture of all materials to be used for the external surfaces of

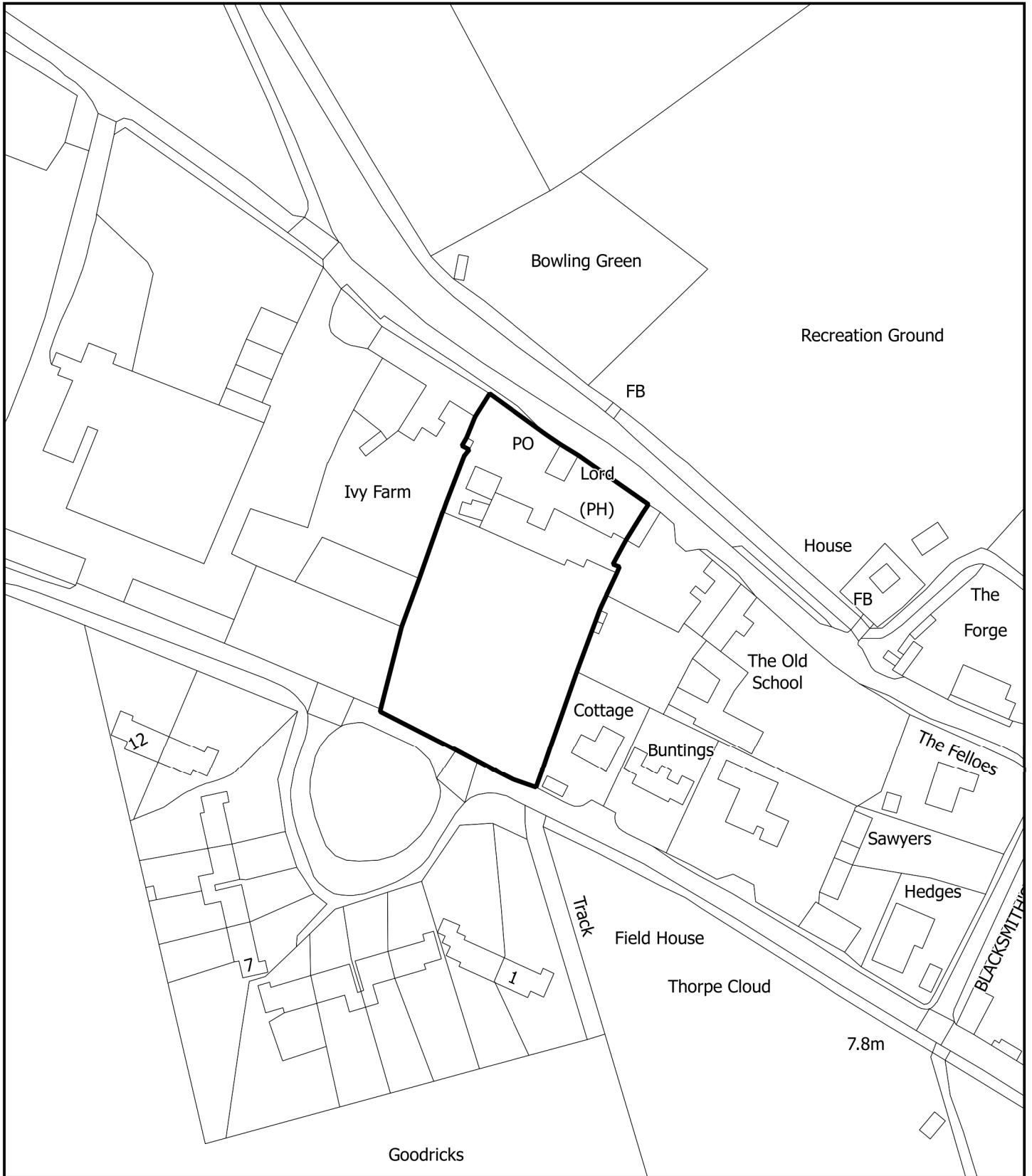
the building(s) have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.

- 3 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.
- 4 Condition: Prior to the installation of any refrigeration plant a detailed scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall specify the noise/power levels of the equipment and provide details of anti-vibration mounts. The scheme shall be implemented as approved and thereafter maintained as such.
- 4 Reason: In the interests of the amenities of the locality in accordance with the principles of the NPPF.
- 5 Condition: The use hereby permitted shall not commence until a detailed scheme for the ventilation and extraction of fumes/cooking smells has been submitted to and approved in writing by the Local Planning Authority. The scheme shall specify the precise details of the extraction equipment to be used, including: the design and position of all ductwork; the noise/power levels of the fan(s); the number, type and attenuation characteristics of any silencers; details of anti-vibration mounts and jointing arrangements in the ductwork; the number of air changes per hour, and the efflux velocity. The scheme shall be implemented as approved prior to the commencement of the use and thereafter maintained as such.
- 5 Reason: In the interests of the amenities of the locality in accordance with the principles of the NPPF.
- 6 Condition: All new entrance doors shall be self-closing to minimise the emission of odours and/or noise from the premises.
- 6 Reason: In the interests of the amenities of the locality in accordance with the principles of the NPPF.
- 7 Condition: Prior to the first use of the development hereby permitted details of measures to reduce the width of the vehicle access and relocate it to a central position between the existing walls along Walsingham Road shall be submitted to and agreed in writing with the Local Planning Authority. These measures shall be implemented prior to the use of the development and thereafter maintained in perpetuity.
- 7 Reason: In the interest of highway safety and traffic movement
- 8 Condition: Prior to the first use of the development hereby permitted the proposed access / on-site car and cycle parking / servicing / loading, unloading /turning / waiting area shall be laid out, demarcated, levelled, surfaced, signed and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 8 Reason: To ensure the permanent availability of the parking /manoeuvring area, in the interests of highway safety.
- 9 Condition: The residential accommodation hereby approved shall only be used as ancillary accommodation to the existing business and shall at no time be used as an independent unit of residential accommodation.

- 9 Reason: For the avoidance of doubt and to ensure that the building is not used for unrelated purposes that would be incompatible with the provisions of the NPPF.
- 10 Condition: Prior to the installation of any external lighting to the site, details shall be submitted to and agreed in writing by the Local Planning Authority, and only lighting so agreed shall be installed on the site. Such lighting shall be kept to a minimum for the purposes of security and site safety, and shall prevent upward and outward light radiation. The lighting shall be fully shielded (enclosed in full cut-off flat glass fitments), directed downwards (mounted horizontally to the ground and not tilted upwards), switched on only when needed (no dusk to dawn lamps) and use white light low-energy lamps (LED, metal halide or fluorescent) and not orange or pink sodium sources.
- 10 Reason: In the interests of minimising light pollution and to safeguard the amenities of the locality in accordance with the NPPF.
- 11 Condition: Prior to the first use or occupation of the development hereby approved, full details of both hard and soft landscape works shall have been submitted to and approved in writing by the Local Planning Authority. Soft landscape works shall include details of replacement trees for T1, T2, T3 and T6 as referred to within the submitted arboricultural statement by Cheshire Woodlands Limited dated 8 January 2018, including species, sizes and positions.
- 11 Reason: To ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF.
- 12 Condition: All hard and soft landscape works shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation or use of any part of the development or in accordance with a programme to be agreed in writing with the Local Planning Authority. Any trees or plants that within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species as those originally planted, unless the Local Planning Authority gives written approval to any variation.
- 12 Reason: To ensure that the work is carried out within a reasonable period in accordance with the NPPF.
- 13 Condition: No existing trees, shrubs or hedges within the site that are shown as being retained on the approved plans shall be felled, uprooted, willfully damaged or destroyed, cut back in any way or removed without the prior written approval of the Local Planning Authority. Any trees, shrubs or hedges removed without such approval or that die or become severely damaged or seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of a similar size and species in the next available planting season, unless the Local Planning Authority gives written approval to any variation.
- 13 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 14 Condition: The development shall be carried out in strict accordance with the Arboricultural Statement by Cheshire Woodlands Limited dated 8 January 2018 unless provided for in any other conditions attached to this planning permission.

- 14 Reason: To ensure that the development takes place substantially in accordance with the details contained within the arboricultural report to protect the trees and the amenity of the area and the Conservation Area in accordance with the NPPF.

17/01754/LB
The Lord Nelson Walsingham Road



Parish:	Burnham Thorpe	
Proposal:	Listed Building Application: Erection of part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park and installation of replacement LPG tank, following demolition of two storage sheds	
Location:	The Lord Nelson Walsingham Road Burnham Thorpe Norfolk	
Applicant:	Greene King	
Case No:	17/01754/LB (Listed Building Application)	
Case Officer:	Mrs P Lynn	Date for Determination: 14 November 2017

Reason for Referral to Planning Committee – The views of the Parish Council are contrary to the Officer Recommendation

Neighbourhood Plan: No

Case Summary

The site is situated on the southern side of Walsingham Road, Burnham Thorpe and consists of a two storey, Grade II listed public house with associated pub garden and parking areas.

The application seeks listed building consent for the erection of a part single, part two storey rear extension and two single storey side extensions with installation of new kitchen and internal alterations.

A corresponding planning application which also included improvements to the car park, creation of additional parking spaces and installation of replacement LPG tank, following the demolition of two storage sheds is also before the Committee for consideration under reference 17/01753/F.

During the course of the application amended plans have been submitted in response to third party comments received.

Key Issues

- Principle of development and impact on the designated heritage asset
- Design, character and appearance
- Other material considerations
- Other material considerations

Recommendation:

APPROVE

THE APPLICATION

This property was listed Grade II under the Planning (Listed Buildings & Conservation Areas) Act 1990 as amended for its special architectural or historic interest in June 1953 with the statutory entry as follows:-

Public house. C18, some pre-1700 evidence to facade. Colourwashed clunch and flint with brick dressings, red pantiled roof. 2 storey, 2 windows. 2 ground and 2 first floor plate glass sashes with single glazing bar division. Central c.1930 part glazed door under bracketed hipped canopy. Blocked C17 brick dressed window above door, stitching only of C17 openings to one ground and 2 first floor windows. Brick end quoins and dentil eaves cornice, coped parapets with end stacks. East gable lean-to, clunch gable above. Flint with brick dressed rear, brick with tumbling to west gable. Reputedly Captain Nelson Hardy gave dinner here in 1793 when recommissioned on active service as Captain of HMS Agamemnon.

Over time the building has been altered by the addition of the single storey elements to the side and rear. A small barn to the side has also been converted to restaurant space with a new link to the original building.

This application for listed building consent proposes the demolition of two storage sheds followed by the erection of a part single, part two storey rear extension and two single storey side extensions, installation of a new kitchen and internal alterations. Other elements of the proposal such as changes to the car parking are not considerations of this application for listed building consent but are considerations of the corresponding planning application.

The proposal has been amend in response to third party comments received during the course of the application. The plans now show that the scale of the rear extension has been reduced so that the eaves of the two storey part of the extension sit below the existing eaves height and the ridge height is now also below that of the existing building . The external materials have also been altered to break up the massing of the proposed extension and the two storey section will be rendered, the ground floor section will be brick and the toilet extension will be finished in feather edge boards.

SUPPORTING CASE

The application is supported by a Planning, Heritage, Design & Access Statement which is available to read on the application file. The planning elements are dealt with as part of the corresponding planning application but with regard heritage aspects the document describes the building, its history and the current proposals making the following points;-

The significance of the building is mainly considered to rest in the external appearance of the original part of the public house and the form of the three front rooms.

The NPPF makes it clear that heritage assets should ideally be maintained in their original use and that they must be used in a way which is viable. The pub is currently closed and the proposals constitute important improvements which will help to attract a new tenant allowing it to re-open and continue to be used for its original purpose and as a valuable community facility for Burnham Thorpe and a source of local employment.

The proposals have been carefully designed with input from officers to ensure a high quality result and line with the relevant policies the scale, height, massing, materials and layout of

Planning Committee
5 February 2018

the development respond sensitively and sympathetically to the local setting to ensure a high quality design. The form, detailing and materials of the extension have sought to maintain local character and a high quality environment.

The main part of the proposals is the part single, part two storey rear extension which replaces existing rear extensions. The gable ended extensions complement the scale and form of the original building but can clearly be read separately from it. The glazed elevation onto the garden will add a contemporary touch which will, again, differentiate the old from the new. A traditional palette of materials has been chosen to match the existing pub so that there is no conflict or competition in texture or colour. The internal alterations proposed would not affect the original part of the pub but only remove modern partition walls and fittings.

Policy CS12 recognises the crucial role that the historic and built environment play in delivering environmental quality and well-being. The proposals fully support this by providing extensions which would be complementary, high quality and respectful of the listed status of the pub protecting its architectural and historic interest.

With regard to advice contained within the NPPF the proposed development would lead to less than substantial harm and this harm has been minimised by optimising the proposed layout to fit the site and minimising the loss of historic features. The very limited harm caused by extending the building would be more than outweighed by the benefits of investing in the fabric of the building to allow it to re-open and resume its original use. This constitutes a significant public benefit for Burnham Thorpe and the wider district.

The modest design and sympathetic use of traditional materials would ensure that the proposals would preserve the character and appearance of the conservation area. The scheme of extensions and alterations has been carefully designed, to ensure that the proposals complement the listed building and the conservation area. Traditional materials will be used throughout. Improvements to the storage provision at the site and to the car park will improve the appearance of the wider site.

The proposals have been re-designed to respond to further comments made by officers and will result in significant investment in the public house and help it to re-open to the benefit of the local community.

The proposals would therefore accord with the Development Plan and the provisions of the NPPF

PLANNING HISTORY

17/01753/F: Erection of part single, part two storey rear extension and two single storey side extensions with installation of new kitchen, internal alterations, improvements to car park and installation of replacement LPG tank, following demolition of two storage sheds – Corresponding planning application currently under consideration.

08/02554/LB: Application Permitted: 19/12/08 - Proposed Porch to Front Entrance of Existing Public House - The Lord Nelson, Walsingham Road, Burnham Thorpe;

08/02553/F: Proposed Porch to Front Entrance of Existing Public House – Approved January 2009

Planning Committee
5 February 2018

2/95/1491/F: Alterations to existing garage to form store – Approved December 1995

2/95/1170/LB: Conversion of barn to form restaurant with link to public house to include ventilation stack over proposed store and removal of unauthorised ventilation outlet (amended design) – Approved October 1995

2/95/1169/F: Conversion of barn to form restaurant with link to public house to include ventilation stack over proposed store – Approved October 1995

2/94/1360/F and 2/94/1361/LB: Conversion of barn to form restaurant with link to public house – Approved October 1994

2/94/0327/LB: Extension and alterations and demolition of garage and timber store – Approved May 1994

2/94/0326/F: Extension and alterations - Approved May 1994

RESPONSE TO CONSULTATION

Parish Council: OBJECT to the proposed scheme. The objections to the original scheme related to the impact of the two-story extension which was considered the most damaging aspect of the proposed development, and would lead to substantial harm to the heritage asset.

The PC proposed an alternative scheme to provide managers accommodation in the roof space of the original building however the applicant did not consider that to be viable

The PCs object to the latest, amended scheme as follows:-

- The proposal does have an unnecessary negative impact on the core existing building, the original building's setting & to the amenity value of neighbouring properties. The following design changes can be made to enable us to withdraw our objection:

The mass & impact of the extension should be reduced by reducing eaves height of the two storey extension by approximately 300mm and reducing roof pitch to 30 degrees or less – bringing the ridge line down by about 1 metre.

A hip instead of gable end would also be more sympathetic.

- This approach could also be applied to the single story extension but our primary concern is the two storey extension.
- BTPC will withdraw its objection once satisfactory changes are made. We are keen that the pub reopens as soon as possible.

REPRESENTATIONS

Original scheme:-

4 objections received (from 3 people) referring to the following:-

Planning Committee
5 February 2018

- Damage to the historic building: the pub is a famous C17 listed building, with close associations with Lord Nelson, after whom it is named. The height of both the proposed 2 storey and single storey rear extensions seems excessive and out of keeping with the scale of the listed building.
- The new elevations are shown as being finished in brickwork, presumably on grounds of cost, and again would be out of keeping with the existing building when the rest of the building is clunch. The material should be changed to chalk/flint.
- It proposed extension directly impedes the view of the beautiful east facade of the GII listed barn adjacent to the pub at Ivy Farm, as well as damaging the setting both of that building and of the pub itself. The rear extension needs to be significantly reduced in height and redesigned so as to fit better with its historic surroundings.
- **Two neutral** comments referring to the following:
- Although I don't object to the application, I can't support it either, despite wishing to see the pub re-open as soon as possible.
- The first floor extension seems unnecessarily high and modern for a Grade II listed building and, with a bit of modification, it could fit in much better with the existing building and location.
- A realistic alternative plan is being drawn-up putting the extra staff accommodation rooms required into the large roof space of the main building. The existing bricked-up windows suggest that it has been used in the past.
- I fully support the re-opening of the pub and hope that the applicant can address any amendments to the plans as quickly as possible.

LDF CORE STRATEGY POLICIES

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
 Planning Practice Guidance (PPG)

National Planning Policy Framework – sets out the Government's planning policies for England and how these are expected to be applied.

National Planning Practice Guidance - Provides National Planning Practice Guidance, in support of and in addition to the NPPF

Planning Committee
 5 February 2018

PLANNING CONSIDERATIONS

The only consideration in the determination of this application is the impact of the work on the significance of the listed building. The National Planning Policy Framework (NPPF) identifies protection and enhancement of the historic environment as an important element of sustainable development and establishes a presumption in favour of sustainable development in the planning system (paras. 6, 7 & 14).

It also states that the significance of designated heritage assets can be harmed or lost by alteration to them or development in their setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification (para. 132). Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, LPAs should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss (para.133). Para.134 requires that where a proposal will lead to less than substantial harm this should be weighed against the public benefits of the proposal including securing its optimum viable use.

Furthermore, policy CS12 of the Core Strategy states that "The historic and built environment play a crucial role in delivering environmental quality and well-being. Therefore the Council will preserve and where appropriate enhance its qualities and characteristics.

Proposal

There has been a public house on this site since the 1800s and its connection to Lord Nelson is well documented. The building was last upgraded in 1995 but trade declined and it has been vacant for the last 12 months. This proposal would see it re-open as a public house and restaurant and whilst it is fair to say that there is widespread support for the proposal in principle the form and potential impact of the proposed extension has been the cause for some concern.

The original submission proposed a two storey extension and a further single storey extension to the rear of the existing listed building. However, during the course of the application and in response to concerns raised by statutory consultees, third parties, the Parish Council and your officers, the height of the roof has been reduced from the original proposal and the eaves sit well below those of the original building. It is proposed that the new extension be constructed in a mix of brick, render and horizontal timber weatherboarding rather than the brick, clunch and flint of the original building. This mix takes reference from the brick and painted front of the original building but will allow the extension to read as a modern addition. The roof will be of red clay pantiles which also accord with that which currently exists.

The Parish Council has no objection to the rear extension in principle but has maintained their objection to its height, stating that the eaves should be further reduced in height by an additional 300mm and the roof pitch should be dropped to 30 degrees which would bring the ridge line down by 1m. Additionally they consider this roof section should be hipped instead of a gable to be more sympathetic.

However, officers consider that dropping the eaves and changing the pitch would result in a rather broad and squat extension which would be out of proportion with the existing building and would therefore not relate well to it. Officers also feel unable to support the Parish Council's suggestion of a hipped roof. Whilst it is acknowledged that there are hipped roofs on other buildings in the village there are no hipped roofs on the existing listed building or on

Planning Committee
5 February 2018

outbuildings within the grounds of the public house. A hipped roof would therefore result in the introduction of alien feature within the site and one which would not sit comfortably with the existing building.

Internal changes to the historic structure are limited and are not considered to be such that they cause any harm to the significance of the building. The inside of the building is quite plain with little decorative detailing. However, there are two “Norfolk winder” style staircases leading from ground to first floor adjacent to the chimneys at each end of the original building. These are to be retained but closed off top and bottom to prevent regular use. The ground floor rooms of the original building will barely change but the first floor will be reconfigured to form improved living accommodation

Summary and conclusion.

In summary then, the proposal to upgrade and re-open the pub is welcomed. The designs of the extensions has been the subject of considerable debate but it is considered that the scheme as amended is appropriate in terms of design, scale and mass and therefore sits comfortably with the listed building and will cause less than substantial harm to its significance. It also requires relatively little loss of historic fabric in order to link the old and the new. Any harm which may be thought to be caused is substantially outweighed by the benefits provided in terms of keeping the building in ongoing and viable use for which it was originally intended, and which also allows public access, and the contribution the business makes to the local economy.

It is therefore recommend that listed building consent be granted.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: This Listed Building Consent is granted subject to the condition that the works to which it relates shall be begun not later than the expiration of three years from the date of this consent.
- 1 Reason: To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: This Listed Building Consent relates only to works specifically shown on the approved plans detailed below. Any others works, the need for which becomes apparent, are not covered by this consent and details must be submitted to the Council as Local Planning Authority and approved before work continues.
 - Drawing No. 5596/401E, Site Plan as Proposed
 - Drawing No. 5596/402E, Floor Plans as Proposed
 - Drawing No. 5596/403E, Elevations as Proposed
 - Drawing No. 5596/404E, Elevations as Proposed
 - Drawing No. 5596/405D, Block Plan
 - Drawing No. 5596/407 Site Plan as Proposed
- 2 Reason: To ensure a satisfactory standard of works in the interests of safeguarding the Listed Building in accordance with the principles of the NPPF.

Planning Committee
5 February 2018

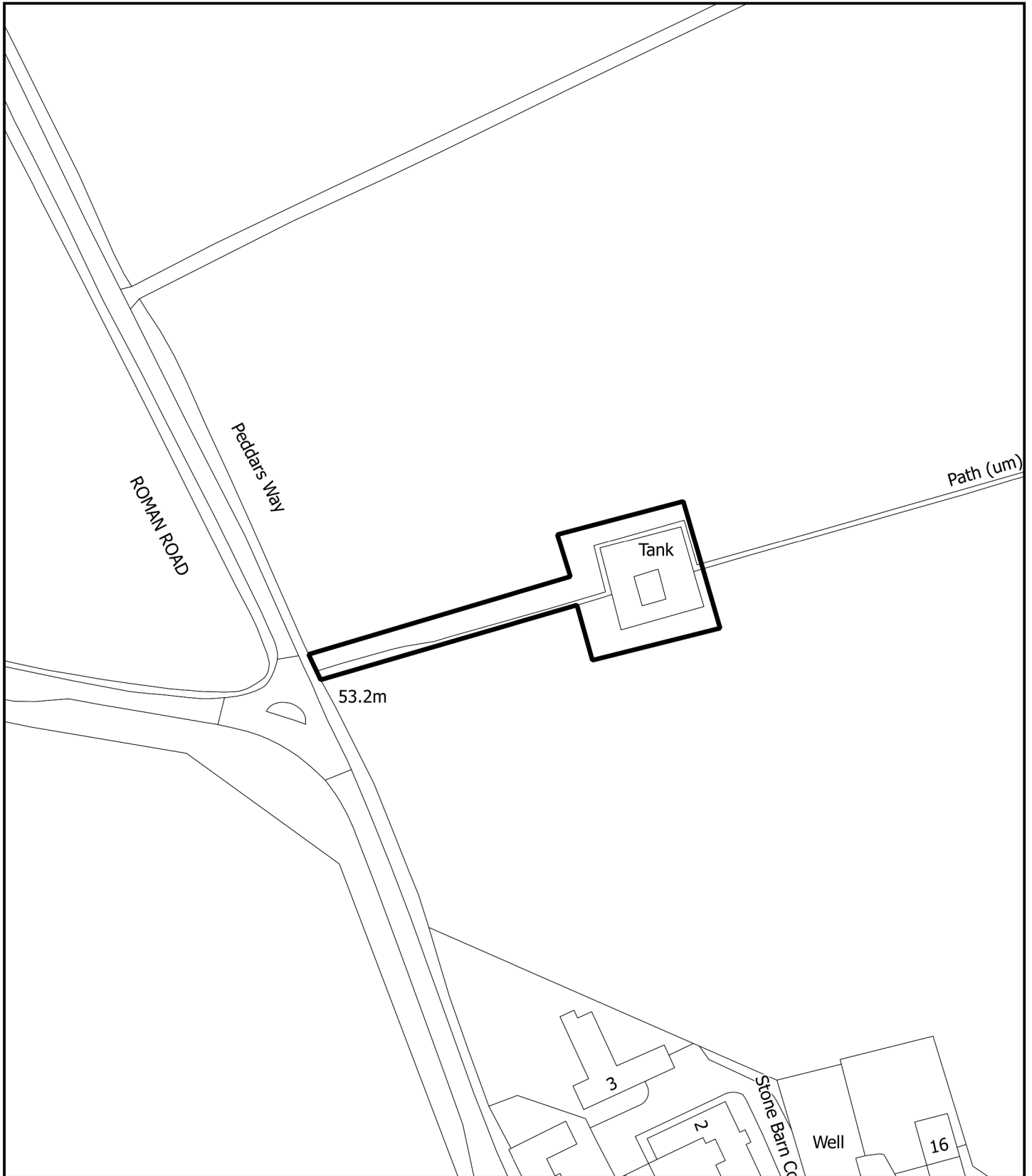
- 3 Condition: The brick/stone to be used for the external surfaces of the building hereby approved shall be constructed in accordance with a sample panel, prepared on site for the inspection and written approval of the Local Planning Authority. The sample panel shall measure at least 1 metre x 1 metre using the proposed materials, mortar type, bond, and pointing technique to be used in the approved scheme.
- 3 Reason: To ensure that the materials are in keeping with the Listed Building in accordance with the principles of the NPPF.
- 4 Condition: The brick bond, mortar mix and pointing techniques for the works hereby approved shall precisely match the existing details.
- 4 Reason: To ensure that such details are in keeping with the Listed Building in accordance with the principles of the NPPF.
- 5 Condition: All mortar, plaster and render to be used in the works to the existing historic structure hereby approved shall be lime rich and cement free to a specification to be agreed in writing by the Local Planning Authority prior to the commencement of the development.
- 5 Reason: To ensure that such details are in keeping with the Listed Building in accordance with the principles of the NPPF.
- 6 Condition: 1:20 drawings of all new and/or replacement windows and glazed panels shall be submitted to and approved in writing by the Local Planning Authority. The plans shall provide for the use of timber windows, and shall include joinery details, cross-sections and the opening arrangements. The development shall be implemented in accordance with the approved details.
- 6 Reason: To ensure that such details are in keeping with the Listed Building in accordance with the principles of the NPPF.
- 7 Condition: The existing clay pantiles must be carefully stripped from the roof as necessary and set aside for re-use on the existing historic structures. The balance to replace those unsuitable for re-use shall be made up with reclaimed clay pantiles to match those set aside. Samples of the clay pantiles to be used on the new development hereby approved shall be provided on site for the inspection and written approval of the Local Planning Authority.
- 7 Reason: To ensure that the materials are in keeping with the Listed Building in accordance with the principles of the NPPF.
- 8 Condition: Notwithstanding the approved plans, details of the following items at a scale of 1:20, or as otherwise specified, shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development:
- Drawings of all new or replacement joinery works involving windows, doors and staircase within the existing building
 - Drawings which provide siting, material and colour of all rainwater goods and statutory undertakers equipment to be installed.

- Drawings showing the precise location and details of any new vents, extractors, flues, cowls and air conditioning units to be installed in connection with the preparation and sale of food.
- The precise size, position and design of the proposed roof-lights.

The works shall be carried out in accordance with the approved details.

- 8 Reason: To ensure that the works are properly controlled in the interests of safeguarding the Listed Building in accordance with the principles of the NPPF.

17/02168/F
The Water Tower Peddars Way



Parish:	Castle Acre	
Proposal:	VARIATION OF CONDITION 2 OF PLANNING PERMISSION 16/00034/F: Re-use and develop existing water tower structure to a two bedroom residential dwelling	
Location:	The Water Tower Peddars Way Castle Acre Norfolk	
Applicant:	Mr Dennis Pedersen	
Case No:	17/02168/F (Full Application)	
Case Officer:	Mr C Fry	Date for Determination: 16 January 2018

Reason for Referral to Planning Committee – The Officers Recommendation is contrary to the views of the Parish Council

Neighbourhood Plan: No

Case Summary

The application site relates to a former water tower located on Peddars Way in Castle Acre.

Planning permission was granted in 2016 for the re-use and development of the existing water tower structure to a two bedroom residential dwelling.

The proposal is a variation of the approved plans condition comprising the re-positioning of the roof access hatch and ladder, adding twelve solar panels to the shipping containers already approved, and removal of a timber fence and replacement with a hedgerow.

The National Planning Policy Framework 2012, the King’s Lynn and West Norfolk Core Strategy 2011 and the King’s Lynn and West Norfolk Development Management Policies Plan 2016 are relevant to this application.

Key Issues

- Planning History
- Principle of Development
- Form and Character and amenity
- Other considerations

Recommendation

APPROVE

THE APPLICATION

The site comprises a former water tower set in open countryside located in Castle Acre. Vehicular access is from Massingham Road.

The application seeks revisions to the original planning approval which consist of:

- Moving the roof access hatch and ladder 0.7m to the east.
- Adding 12 solar panels to the roofs of the shipping containers in addition to the panels on the main roof of the building previously approved.
- Removal of the timber fence to be replaced with an indigenous species hedgerow to give a more natural concealment of the shipping containers.

The existing shipping containers approved as part of the previous application will be used as a biomass boiler room and pellet storage for the towers heating and hot water.

SUPPORTING CASE

Castle Acre is designated a Key Rural Service Centre in the adopted Core Strategy 2011 identified as having potential to accommodate growth to sustain the wider rural community.

The applicant has not submitted a design and access statement with this application.

In response to the Parish Council objections:

Impact of solar panels: It is not considered the use of solar panels would be harmful to neighbouring properties given the separation distances that exist. The roof of the structure features a steel balustrade which is thought to obscure the proposed panels and lessen the impact in terms of views across the site. The solar panels proposed as part of the shipping containers are not considered to be harmful with the proposed hedgerow thought to soften the overall appearance.

Conclusion:

The proposed works would not be harmful to the character of the locality or any neighbouring properties.

PLANNING HISTORY

16/00034/F Re-use and develop existing water tower structure to a two bedroom residential dwelling PER - Application Permitted

16/01848/F Variation of conditions 2, 5, 14 of planning permission 16/00034/F: To amend previously approved drawings, bank to protect hedgerow, shipping containers to be used for site office and storage and removal of obscured glazing PER - Application Permitted

RESPONSE TO CONSULTATION

Parish Council: **OBJECTION:**

- Impact of solar panels in terms of amenity and views

REPRESENTATIONS none received

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS06 - Development in Rural Areas

CS08 - Sustainable Development

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM15 – Environment, Design and Amenity

DM20 - Renewable Energy

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

PLANNING CONSIDERATIONS

Planning History
Principle of Development
Form and Character and Amenity
Other considerations

Planning History:

Application ref 16/00034/F was approved in 2016 for the re-use and development of an existing water tower to a two bedroom residential dwelling. Following this a variation of condition application was submitted and approved to remove tree fencing, install two shipping containers in addition to minor changes to the elevations.

Principle of development:

The National Planning Policy Framework (NPPF) seeks a high standard of design which can contribute positively to making places better for people. Some of the key objectives are for development which accords to the local context and creates or reinforces local distinctiveness that is visually attractive as a result of good architecture and landscaping.

Planning Committee
5 February 2018

In terms of the KLWNBC Core strategy 2011:

Policy CS08 advises that good design is a key element of sustainable development. It also states that the local authority will support and encourage the generation of energy from renewable sources. These will be permitted unless there are unacceptable locational or other impacts that could not be outweighed by wider environmental, social, economic and other benefits.

In terms of the Site Allocation and Development Management Policies Plan 2016:

Policy DM15 (environment, design, amenity) states that development must protect and enhance the amenity of the wider environment including its heritage and cultural value and that proposals will be assessed against their impact on neighbouring uses and their occupants. Furthermore, proposals will be assessed against a number of factors including overbearing, overshadowing, noise and visual impact and development that has a significant adverse impact on the amenity of others or which is of a poor design will be refused.

Policy DM20 (Renewable Energy) advises that proposals for renewable energy will be assessed to determine whether the benefits they bring in terms of the energy generated are outweighed by the impacts upon such factors as the surrounding landscape and townscape, ecological interests and amenity.

This application has been considered in light of the changes proposed as the principle of the development has been assessed as part of the original application. Such revisions are thought to be acceptable and would accord with the provisions of the Core Strategy and Local and National Policy.

Form and Character and Amenity:

The site is located on the eastern side of Massingham Road in a rural setting adjacent to the village of Castle Acre. Given its height clearly the former water tower is very visible within the landscape. However the proposed solar panels as part of this application are on the shipping containers and would not be visually intrusive given the set back from the highway and therefore are not considered to harm views or detract from the rural character of the surrounding area.

The proposed hedgerow planting which includes indigenous species of hedgerow including honeysuckle, hawthorn, blackthorn and wild hop is thought to be a positive addition given the setting and would be fully acceptable.

Other Considerations:

There are no other considerations.

Conclusion:

Solar panels are generally supported in planning policy, subject to considerations such as impact on visual amenity. In this case the proposed additional solar panels to the roof of the shipping containers would not be harmful to the appearance of the wider area and would be acceptable.

The proposal would accord with policies DM1, DM15 and DM20 of the Development Management Policies Plan 2016, policy CS08 of the Core Strategy 2011 and the provisions of the National Planning Policy Framework 2012 and is sustainable development. It is therefore recommended for approval.

Planning Committee
5 February 2018

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:-
 - Water Tower no. 439 103a - "Contour plan" dated 08.12.2016
 - Water Tower no. 439-104b - "Contour plan" dated 08.12.2016
 - Water Tower no. 439 102C "Block plan" – dated 08.12.2016
 - Water Tower no. 439 – 110e "Site Plan" – received 21st November 2017
 - Water Tower no. 439 200a "Proposed Ground Floor Plan" dated 07.10.2016
 - Water Tower no. 439 201a "Proposed 1st Floor and 1st Floor mezzanine proposed" dated 07.10.2016
 - Water Tower no. 439 202 "Proposed 2nd Floor and 2nd floor mezzanine" dated 07.10.2016
 - Water Tower no. 439 203h "3rd Floor Plan Proposed" received 21st November 2017
 - Water Tower no. 439 204f "Roof Plan Proposed" received 21st November 2017
 - Water Tower no. 439 205a "Proposed North Elevation" dated 08.12.2016
 - Water Tower no. 439 206b "Proposed East Elevation" – dated 08.12.2016
 - Water Tower no. 439 207f "South Proposed elevation" dated 21st November 2017
 - Water Tower no. 439 208b "Proposed West Elevation" – dated 08.12.2016
 - Water Tower no. 439 209b "Proposed - section a-a" – dated 08.12.2016
 - Water Tower no. 439 210b "Proposed section b-b" dated 08.12.2016
 - Water Tower no. 439 211b "Proposed section c-c" dated 08.12.2016
 - Water Tower no. 439 212b "Proposed section d-d" dated 08.12.2016
 - Mechanical services PV Panels Option B - drawing no.254-E-2103(B)in so far as the cross section details only as agreed under 16/00034/disc_B
 - External Lighting 439 575C dated 08.12.2016 received 9th December 2016
 - Visibility splays no.439 576a dated 08.12.2016 received 9th December 2016
 - Shipping Containers no. 439 120f received 21st November 2017
 - Security Gate 439 405b "Security Gate" dated 07.10.2016
- 1 Reason: For the avoidance of doubt and in the interests of proper planning.
- 2 Condition: The hard and soft landscaping works shall be carried out in accordance with the details agreed under 16/00034/DISC_B unless otherwise agreed in writing by the Local Planning Authority.
- 2 Reason: To ensure that the development is properly landscaped in the interests of the visual amenities of the locality in accordance with the NPPF.
- 3 Condition: All hard and soft landscape works shall be carried out in accordance with the approved details of 16/00034/DISC_B. The works shall be carried out prior to the occupation or use of any part of the development or in accordance with a programme to be agreed in writing with the Local Planning Authority. Any trees or plants that within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of similar size and species as those originally planted, unless the Local Planning Authority gives written approval to any variation.

- 3 Reason: To ensure that existing trees and hedgerows are properly protected in accordance with the NPPF. This needs to be a pre-commencement condition given the potential for damage to protected trees during the construction phase.
- 4 Condition: The tree and hedge protection measures shall be carried out in accordance with details agreed under 16/00034/DISC_A with the exception of protecting the trees adjacent to the access road unless otherwise agreed in writing by the Local Planning Authority.
- 4 Reason: To ensure that existing trees and hedgerows are properly protected in accordance with the NPPF. This needs to be a pre-commencement condition given the potential for damage to protected trees during the construction phase.
- 5 Condition: No existing trees, shrubs or hedges within the site that are shown as being retained on the approved plans shall be felled, uprooted, willfully damaged or destroyed, cut back in any way or removed without the prior written approval of the Local Planning Authority. Any trees, shrubs or hedges removed without such approval or that die or become severely damaged or seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of a similar size and species in the next available planting season, unless the Local Planning Authority gives written approval to any variation.
- 5 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 6 Condition: The earthworks, specifically the small mound landscaping shall be carried out in accordance with the agreed details received as part of 16/00034/DISC_A
- 6 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 7 Condition: The erection of gates shall be carried out in accordance with details agreed under 16/00034/DISC_B unless otherwise agreed in writing by the Local Planning Authority.
- 7 Reason: In the interests of visual amenity in accordance with the NPPF.
- 8 Condition: The installation of outdoor lighting shall be carried out in accordance with 16/00034/DISC_B unless otherwise agreed in writing by the Local Planning Authority.
- 8 Reason: In the interests of minimising light pollution and to safeguard the amenities of the locality in accordance with the NPPF.
- 9 Condition: The development shall be carried out in accordance with the following materials:-
 - Sto render and Coverworld 13.5-3R Aluzinc 0.7mm

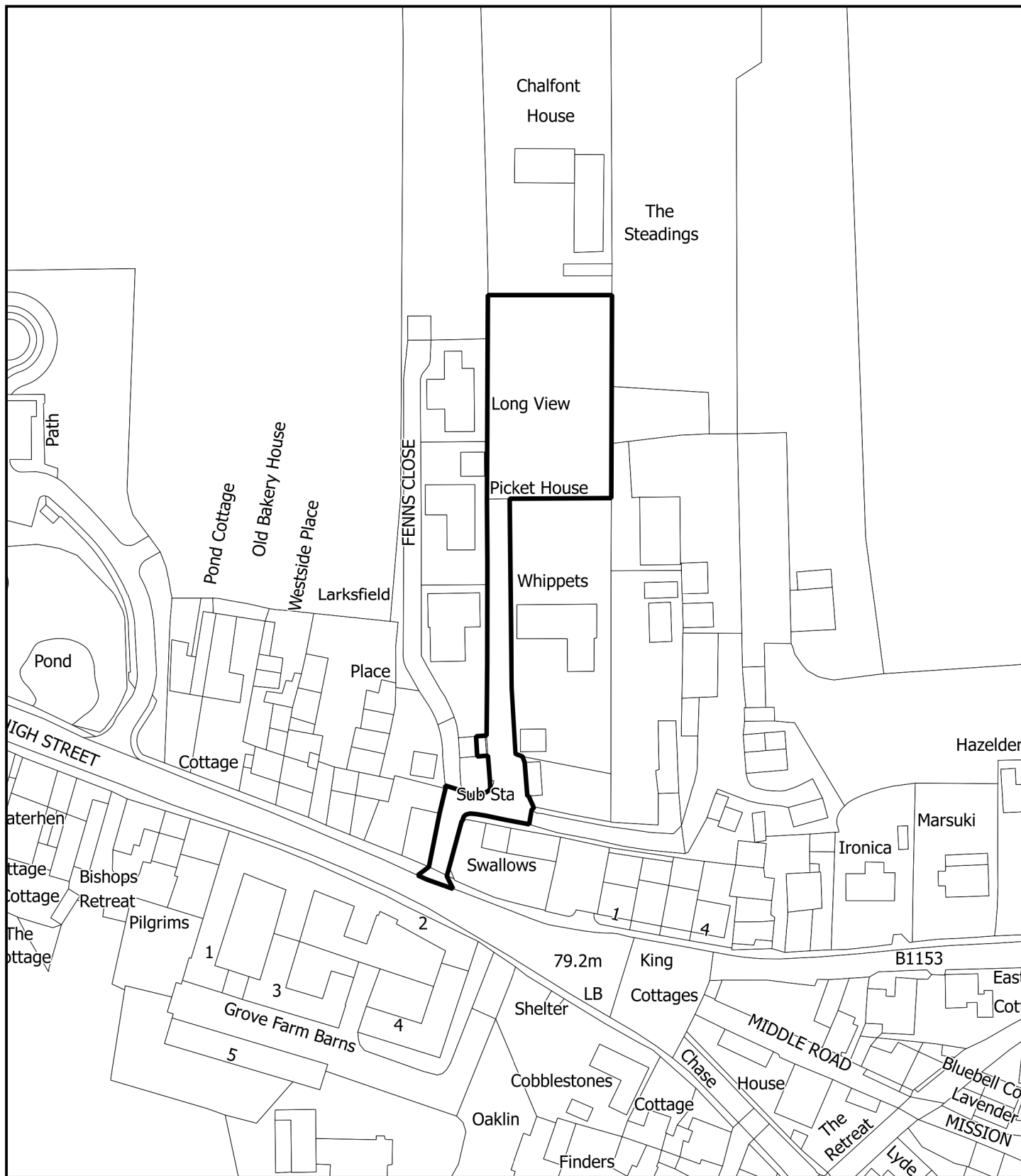
Unless otherwise agreed in writing by the Local Planning Authority.
- 9 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.
- 10 Condition: The external metalwork shall be finished in RAL colour 7011 unless in accordance with the details agreed under 16/00034/DISC_B.

- 10 Reason: In the interests of visual amenity in accordance with the principles of the NPPF.
- 11 Condition: Foul and Surface Water drainage shall be carried out in accordance with details agreed under 16/00034/DISC_A.
- 11 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.
- 12 Condition: Notwithstanding the provisions of Schedule 2, Part 1, Classes A, B and D of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the enlargement, improvement or other alteration of a dwelling house, the enlargement of a dwelling house consisting of an addition or alteration to its roof, or the erection or construction of a porch outside any external door of a dwelling house, shall not be allowed without the granting of specific planning permission.
- 12 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 13 Condition: Notwithstanding the provisions of Schedule 2, Part 1, Class E of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the provision within the curtilage of the dwelling house of any building or enclosure, swimming or other pool shall not be allowed without the granting of specific planning permission.
- 13 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 14 Condition: Notwithstanding the provisions of Schedule 2, Part 1, Class F of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), the provision within the curtilage of the dwelling house of a hard surface for any purpose incidental to the enjoyment of the dwelling house, shall not be allowed without the granting of specific planning permission.
- 14 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.
- 15 Condition: Notwithstanding the provisions of Schedule 2, Part 2, Class A of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification) no fence, gate, wall or other means of enclosure shall be erected within the curtilage of any dwelling house that fronts onto a road or footpath.
- 15 Reason: In order that the Local Planning Authority may retain control of development which might be detrimental to the amenities of the locality if otherwise allowed by the mentioned Order.

- 16 Condition: The installation of screening on the roof terrace will be carried out in accordance with details agreed under 16/00034/DISC_B unless otherwise agreed in writing by the Local Planning Authority.
- 16 Reason: In the interests of neighbour amenity.
- 17 Condition: Prior to the first occupation of the development hereby permitted the vehicular access shall be provided and thereafter retained at the position shown on the approved plan 439-576a received 9th December 2016 in accordance with the highway specification drawing no. TRAD 5. Arrangement shall be made for surface water drainage to be intercepted and disposed of separately so that it does not discharge from or onto the highway carriageway.
- 17 Reason: To ensure satisfactory access into the site and avoid carriage of extraneous material or surface water from or onto the highway.
- 18 Condition: The gradient of the vehicular access shall not exceed 1:12 for the first 5 metres into the site as measured from the near channel edge of the adjacent carriageway.
- 18 Reason: In the interests of the safety of persons using the access and users of the highway.
- 19 Condition: Prior to the first occupation of the dwelling hereby permitted any access gate(s), bollard, chain to other means of obstruction shall be hung open inwards, set back, and thereafter retained a minimum distance of 5 metres from the near channel edge of the adjacent carriageway.
- 19 Reason: To enable vehicles to safely draw off the highway before the gate(s) or obstruction is opened in accordance with the National Planning Policy Framework.
- 20 Condition: Notwithstanding details received prior to the first occupation of the development hereby permitted a visibility splay measuring 2.4m x 160m (north) and 2.4m x 90m (south) shall be provided to each side of the access where it meets the highway and such splay thereafter shall be maintained at all times free from any obstruction exceeding 1.05metres above the level of the adjacent highway carriageway.
- 20 Reason: In the interests of highway safety.
- 21 Condition: Notwithstanding details received before first occupation of the building hereby permitted the window on the south elevation that serves the Kitchen/living room closest to the western elevation of the dwelling hereby approved shall be fitted with obscured glazing in any part of the window that is less than 1.7m above the floor on the room in which it is installed, and it shall be non-opening. The window shall be permanently retained in that condition thereafter.
- 21 Reason: In order to safeguard neighbour amenity
- 22 Condition: The use of the shipping containers hereby approved shall be limited to purposes incidental to the needs and personal enjoyment of the occupants of the dwelling and shall at no time be used for business or commercial purposes.
- 22 Reason: The site lies in an area where the Local Planning Authority would not normally grant permission for new dwellings. This permission is granted in recognition of the

special need for the dwelling in connection with a rural enterprise in accordance with the NPPF.

17/02049/F
Chalfont House, High Street, Docking



Parish:	Docking	
Proposal:	Proposed 1 and a half storey dwelling and cart shed	
Location:	Chalfont House High Street Docking King's Lynn	
Applicant:	Mr Nick Johnson	
Case No:	17/02049/F (Full Application)	
Case Officer:	Mrs Jade Calton	Date for Determination: 2 January 2018 Extension of Time Expiry Date: 12 February 2018

Reason for Referral to Planning Committee – Councillor Morrison requested referral and the view of Docking Parish Council is at variance with the officer recommendation

Neighbourhood Plan: No

Case Summary

The application site comprises a rectangular shaped parcel of land measuring approximately 1995 square metres and is situated on the northern side of High Street, Docking. The site is currently garden land associated with Chalfont House which sits to the north of the plot.

Docking is classified as a Key Rural Service Centre as identified within the Core Strategy's Settlement Hierarchy.

The application seeks Full Planning Permission for the construction of a one-and-a-half storey detached dwelling and cart shed.

Key Issues

- Principle of Development;
- Impact on Form and Character;
- Impact on Neighbour Amenity;
- Highway Safety; and
- Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application site comprises a rectangular shaped parcel of land measuring approximately 1995 square metres and is situated on the northern side of High Street, Docking. The site is currently garden land associated with Chalfont House which sits to the north of the plot. The site will be accessed via an existing access track / driveway which serves Chalfont House and a property (The Whippets) which is located directly to the south of the site.

The proposed dwelling will be a detached one-and-a-half storey 4 bedroomed property with gabled projections, cat-slide dormer windows and constructed using traditional red brick and flint with a clay pantile roof.

The new dwelling will be positioned towards the eastern boundary of the site, fronting west allowing for the detached double cart shed to be located in the north-eastern corner and the private amenity to the south. The access will therefore continue to run along the western boundary of the site.

The site is bounded by mature hedging to the south and east and a 2m brick wall to part of the northern boundary. It is proposed to extend the existing wall to the north to provide privacy between the new property and the donor dwelling; Chalfont House, and plant a new hedgerow along the western boundary to delineate the plot from the access driveway.

SUPPORTING CASE

A Design and Access Statement accompanies the application which offers the following case:-

“The site is currently laid to lawn and is used as garden amenity land and provides access to a residential property named Chalfont House. The land is owned and maintained by the applicant and has mature hedging to all sides denoting boundaries. Generally, the site is located in a densely populated residential area, close to local amenities and within the Docking settlement area. Recent permission was granted for 3, 2 storey dwellings under permission 12/01701/F on the adjacent land.

The proposal involves constructing a new 1½ storey dwelling located to the amenity land at the front (South) of Chalfont House. The location of the site will allow the proposed dwelling to nestle into the landscape and sit comfortably within its setting and surrounding properties.

The proposed dwelling would be a simple yet attractive design that will be similar to other buildings in the area in both appearance and scale for the size of the plot, constructed in the traditional Norfolk vernacular of red brick and flint under a red Norfolk clay pantile roof.

The proposed dwelling can be positioned within the site to allow ample turning and parking, along with a cart shed garage to the rear of the property (North) and garden amenity space to front (South) and side (West) of the plot. Due to the size and location of the plot, the new dwelling will follow the same form and would blend with the recent development to the West whilst not overcrowding the area. Careful positioning of the first floor windows will prevent any overlooking issues to surrounding properties.

Existing trees will be protected and existing mature hedging retained where possible. A 2m wall will separate the new plot from the existing. The access drive will be adjusted to accommodate a new access point to Chalfont House but the principle and general locality will remain.

It is proposed that the existing access from High Street, situated about 90m to the South will be utilised which has a speed limit of 30mph and provides adequate visibility splays in each direction. The majority of the existing access road to Chalfont House will remain except to create a new entrance point and ample parking and turning”.

PLANNING HISTORY

17/01824/F: Application Withdrawn: 02/10/17 - Construction of a one and a half storey dwelling & cart shed - Plot Between The Steadings Chalfont House And Whippets, High Street, Docking

17/01581/O: Application Withdrawn: 18/08/17 - Outline Application: New dwelling - Chalfont House, High Street, Docking

2/98/0491/F: Application Refused: 02/06/98 - Construction of dwelling - Land South of Homelands, High Street, Docking

2/98/1197/F: Application Refused: 20/10/98 - Construction of detached dwelling (revised dwelling) - Land South of Homelands (Chalfont House), High Street, Docking Appeal Dismissed 17/03/99

All planning history relating to the application is a material consideration but of particular relevance in this case is the abovementioned application (2/98/1197/F) where planning permission was refused in 1998 for the construction of a bungalow on the application site for the following reasons:-

- 1) It is not considered that the proposed dwelling would enhance the form and character of the village. The proposal is therefore contrary to the provision of both the Structure Plan and Local Plan.
- 2) The access road serving the site in its present form is considered to be unsuitable to serve further residential development.
- 3) If approved the development would create a precedent for further residential development.
- 4) The proposal constitutes a sub-standard layout of land which would be detrimental to the privacy and amenities to both the existing occupants within the area and the occupants of the proposed dwelling.

The Planning Inspectorate dismissed the appeal on only one of the above grounds:-

- 1) The proposal would harm the character and appearance of this part of the village, as well as being in conflict with well-founded policies for its protection.

The Inspector disagreed with the second, third and fourth issues, stating that the potential increase in traffic from the dwelling would not be significant in terms of use of the unadopted track. He continued to say that whilst there would be an increase in traffic along the private track past Whippets and the bungalow to the west, given the nature of the boundaries. The width and surface of the drive and the location and outlook of those bungalows, he was not persuaded that any loss of privacy or disturbance would be to an unacceptable degree.

Whilst the Inspector states that he shares the Council's concern with regards to the development setting a precedent, given the spacious nature of development here, each proposal must be considered on its individual merits.

Since the refusal of the application in 1998 there have been changes in policy and circumstances around the site. Planning permission (12/01701/F) was approved directly to the west of the site for construction of three bungalows. The introduction of these dwellings has altered the character by increasing the build form and as such reducing the openness. This is a material consideration in the determination of the current application.

RESPONSE TO CONSULTATION

Parish Council: OBJECT - The Parish Council have huge concerns about another development on this track which serves 10 properties and a farm with frequent agricultural vehicles. The council sees this yet again as backfill in the village.

Highways Authority: NO OBJECTION conditionally.

Environmental Health & Housing – Environmental Quality: NO OBJECTION

REPRESENTATIONS

Councillor Morrison has requested that the application be referred to the Planning Committee for full consideration.

ONE representation received from a local resident **objecting** to the proposal on the following grounds:-

- Nine new dwellings have been built on adjacent land in the last 7 years replacing only one bungalow, a pub and some farm buildings;
- Intensification of development;
- Single track access with no passing place is unacceptable to serve two dwellings;
- Highway safety implications;
- Noise and disturbance from additional traffic;
- Questions whether the single lane access breaches emergency services accessibility;
- The access from High Street is already at full capacity;
- There was once a passing bay but that has been taken over by greenhouses;
- Noise and disturbance from the new house will impair the neighbours enjoyment of their property;
- Garden will be overlooked;
- Many of the trees to be removed are labelled as small trees when in fact they are medium to large well established trees;

Planning Committee
5 February 2018

- Three existing mature trees on the southern boundary of the site are not shown on the plans but requests that they are retained;
- Requests that a TPO is put on the trees;
- The trees add character and sense of place on the edge of the Conservation Area;
- The trees would offer visual screening between the neighbour and the proposed dwelling;
- There is an existing continuous privet hedge with large gaps that would be incapable of keeping out pets, a boarded fence would be necessary.

LDF CORE STRATEGY POLICIES

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

CS06 - Development in Rural Areas

CS11 – Transport

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
 Planning Practice Guidance (PPG)

National Planning Policy Framework – sets out the Government’s planning policies for England and how these are expected to be applied.

National Planning Practice Guidance - Provides National Planning Practice Guidance, in support of and in addition to the NPPF

PLANNING CONSIDERATIONS

The key considerations in the determination of this application are:-

- Principle of Development;
- Impact on Form and Character;
- Impact on Neighbour Amenity;
- Highway Safety; and

- Other Material Considerations

Principle of Development

Docking is classified as a Key Rural Service Centre within the settlement hierarchy of the Core Strategy. Such centres are considered to help sustain the wider rural community. They provide a range of services that can meet basic day-to-day needs. Local scale development will be concentrated in identified Key Rural Service Centres.

At local level, Development management Policy DM2 states that development will be permitted within the development boundaries of settlements shown on the Policies Map provided it is in accordance with the other policies in the Local Plan.

The principle of the proposed dwelling is therefore acceptable in terms of Policy DM2 and Core Strategy Policy CS02, subject to other policy and material considerations.

Policy CS06 promotes sustainable communities and sustainable patterns of development within rural areas to ensure strong, diverse, economic activity. It aims to maintain local character and a high quality environment and focuses most new development in key rural service centres.

Policy CS08 advises that all new development in the borough should be of high quality design.

Nationally, the NPPF seeks a high standard of design, and design that takes the opportunity to improve an area. Some of the key objectives referred to in the NPPF are for development which responds to their local context and creates or reinforces local distinctiveness, are visually attractive as a result of good architecture and appropriate landscaping.

Form and Character

The immediate area to the north of High Street is characterised by development fronting the highway as well as at right angles to the road. A recent development (12/01701/F) of three detached dwellings lies directly to the west of the application site which runs at right angles to the highway in a tandem layout.

The proposed dwelling will sit between two existing properties; Chalfont House and Whippets in the same form as those adjacent. The introduction of a new dwelling on this site will therefore mean that the development would be in keeping with the form and layout of its immediate surroundings.

With the exception of Chalfont House and Whippets, plot sizes within the immediate vicinity are relatively modest. Therefore the subdivision of Chalfont House will be in keeping with the form and character of the area.

The design of the new dwelling is reasonably modest with some traditional features and use of traditional materials such as red brick, flint and red clay pantiles. The development therefore has regard for local distinctiveness and building characteristics of this part of Docking.

The proposed cart shed will be open fronted and constructed using timber with a pantiled roof. Good use of materials and its position within the plot means that it will be in harmony with the form and character of the area.

The new property will share the same point of access (for the first part) from High Street as the dwellings to the west as well as Chalfont House and Whippets. Part of the existing driveway which currently runs through the front garden of Chalfont House will be re-aligned so that it runs straight along the western boundary of the site to allow for more useable space to the front of the new dwelling.

Neighbour Amenity

Policy DM15 (environment, design, amenity) states that development must protect and enhance the amenity of the wider environment including its heritage and cultural value and that proposals will be assessed against their impact on neighbouring uses and their occupants. Furthermore, proposals will be assessed against a number of factors including overbearing, overshadowing, noise and visual impact and development that has a significant adverse impact on the amenity of others or which is of a poor design will be refused.

The proposed dwelling will be positioned towards the eastern boundary of the site leaving a distance of between approximately 18.4m and 19m from the first floor bedroom windows to the western boundary.

The southern gable end of the proposed dwelling will be approximately 13.7m from the boundary. There is an established hedgerow and a number of reasonably mature trees along the southern boundary which are proposed to be retained. This will reduce any impact upon the Whippets. Furthermore the Whippets is sited approximately 24.7 metres from their northern boundary which offers more than adequate separation between properties, minimising direct overlooking.

The position of the proposed dwelling within the plot and distances from boundaries, together with screening from trees and hedging, means that the development will cause no material overshadowing, overlooking or overbearing impact to neighbouring properties to the north (donor dwelling), south or west. The land to the east comprises old agricultural buildings, therefore there will be no material impact on amenities.

The existing driveway is made up from brick weave and will be extended using the same materials which will help prevent noise and disturbance to neighbouring residents usually associated with loose chippings from car movements. The existing hedgerow along the western and southern boundaries will help reduce any impact from car headlights.

Highway Safety

The development is accessed from a private drive, the width of which at the point of access with the public highway does not accord with current standards, Furthermore the private drive already serves around 9 properties; which already exceeds current NCC guidance that no more than 8 dwelling should be served from a private drive.

Whilst this is to some extent discretionary, issues can arise in terms of longer term maintenance and it would be usual to request an appropriate maintenance agreement be entered into with all parties. However, the Highway Authority would not adopt the present access road and, notwithstanding the present occupiers maintenance obligations, it may prove difficult to get all parties to sign up to a formal maintenance agreement which may differ from their present responsibilities. In this respect the Highways officer is prepared to accept this additional property to be developed off the private drive and to be maintained as such.

In terms of the access width, given the planning history and present number of properties already served by it, it is not considered that this proposal would give rise to severe residual cumulative impacts.

The standard highways condition relating to construction of the access and parking will be imposed if the application is approved.

Other Material Considerations

The application is not within Docking's Conservation Area but it is adjacent to it. The Conservation Area boundary runs along High Street frontage and does not include Whippets or Chalfont House. Nevertheless, the impact of the setting of the Conservation Area should be considered. In this case the new house is considered to preserve the Conservation Area, given the design and use of materials proposed and the fact that the loss of this space does not impact on the Conservation Area.

Trees:

There are some reasonably sized trees on site which will mostly be retained. Seven out of eight of the trees sited along the southern boundary will be retained. A medium to large sized Horse Chestnut tree is proposed to be removed as it is in poor condition but will be replaced with a new tree. Some other small sporadic garden trees will be removed to enable the development. The trees are considered to offer amenity value to the area and to surrounding residential properties. A condition will therefore be imposed securing their retention.

Crime and Disorder:

Section 17 of the Crime and Disorder Act 1998 requires Local Authorities to consider the implications for crime and disorder in the carrying out of their duties. The application before the Committee will not have a material impact upon crime and disorder.

Parish Council Objections:

In light of the Parish Council's concerns, NCC has assessed the application on highway safety grounds and raises no objection as the impact of one additional dwelling on the existing access will have an impact so as to warrant refusal of the application.

Whilst the Parish considers the proposal to result in back land development, a precedent has been established for this building form and layout within the immediate vicinity to the west of the site. On this basis, it is considered that the proposed development causes no harm to the existing character of the area.

Third Party Objections:

With regards to the concerns raised by a neighbouring resident, most of the comments have been address above in the report in terms of highway safety, access issues, form and character of development, neighbour amenity and trees. NCC did not require a passing bay as the access will only serve two properties; the level of use does not warrant requesting such a measure.

Regarding applying a TPO on the trees on site, the Council's Arboricultural Officer advised, verbally, that this would not be necessary as the amended plans show the retention of most of the trees which offer amenity value.

CONCLUSION

The application seeks full planning permission for the construction of one dwelling. The proposal will infill the gap between two existing properties in the same way as the adjacent development to the west.

The site is within the settlement boundary of Docking and, as such, is in principle suitable for residential development. It is considered that the development is of appropriate design, scale and layout for the site and locality.

It is considered that the proposal would not result in any material harm in relation to residential amenity or highway safety.

The proposal accords with the NPPF, NPPG and Local Policies contained in the Core Strategy, 2011 and SADMP, 2016. Therefore, your officers recommend that this application be approved subject to the appropriate conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

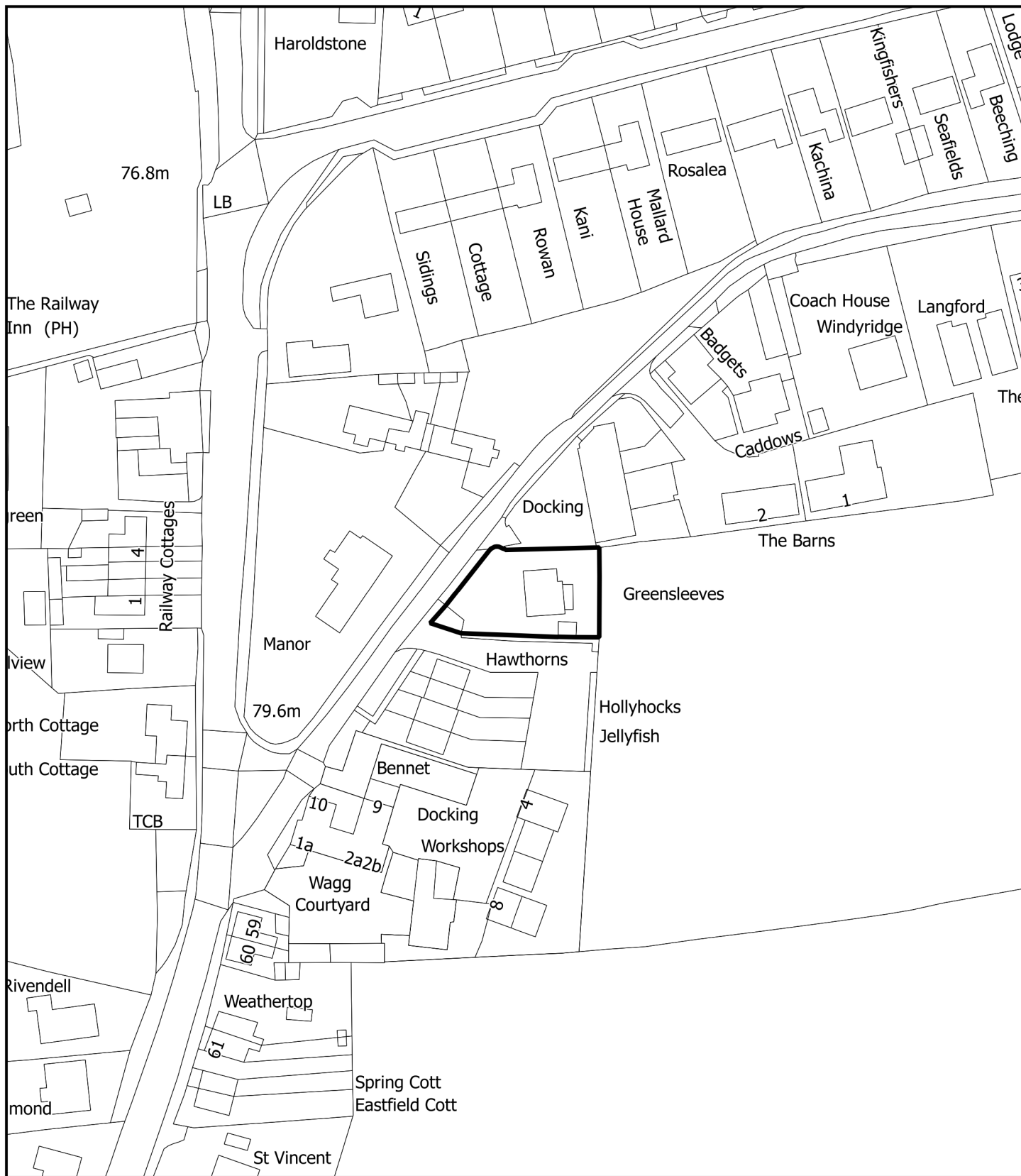
- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans 363-01 Rev. E, 363-02 Rev. A and 363-03 Rev. A.
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: Prior to the first occupation of the development hereby permitted the proposed access, on-site car parking and turning area shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 3 Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety.
- 4 Condition: No existing trees, shrubs or hedges within the site that are shown as being retained on the approved plans shall be felled, uprooted, willfully damaged or destroyed, cut back in any way or removed without the prior written approval of the Local Planning Authority. Any trees, shrubs or hedges removed without such approval or that die or become severely damaged or seriously diseased within 5 years from the completion of the development hereby permitted shall be replaced with trees, shrubs or hedge plants of a similar size and species in the next available planting season, unless the Local Planning Authority gives written approval to any variation.
- 4 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 5 Condition: No development shall commence until full details of the foul and surface water drainage arrangements for the site have been submitted to and approved in

Planning Committee
5 February 2018

writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.

- 5 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.
- 6 Condition: The cart shed hereby approved as part of this application shall remain open fronted in perpetuity unless otherwise agreed in writing by the Local Planning Authority.
- 6 Reason: To ensure the permanent available of adequate parking provision, in the interests of the NPPF.

17/02259/F
Greensleeves Sandy Lane Docking



Parish:	Docking	
Proposal:	VARIATION OF CONDITION 2 OF PLANNING PERMISSION 17/01043/F: Demolition of existing bungalow and erection of two semi-detached dwellings	
Location:	Greensleeves Sandy Lane Docking King's Lynn	
Applicant:	MEB Investments Ltd	
Case No:	17/02259/F (Full Application)	
Case Officer:	Mr C Fry	Date for Determination: 25 January 2018 Extension of Time Expiry Date: 12 February 2018

Reason for Referral to Planning Committee – The Officer Recommendation is contrary to the views of the Parish Council

Neighbourhood Plan: No

Case Summary

The application site lies within the development boundary and Conservation Area of Docking. Docking is classified a Key Rural Service Centre according to Policy CS02 of the Local Development Framework Core Strategy 2011.

The proposal seeks variation of condition 2 of planning permission 17/01043/F. "Demolition of existing bungalow and erection of two semi-detached dwellings". Condition 2 relates to the approved plans and the applicant seeks: creation of a second floor within the roof of house no.1 to form a fourth bedroom with en-suite bathroom; extension of the proposed staircase to form access to the proposed second floor of house no. 1; and the insertion of three high-level roof lights on the rear (east) elevation of no.1 and one high-level roof light to the front (west) elevation of no.1 to serve the proposed en-suite bathroom.

Key Issues

- Principle of the development
- Design and amenity issues and impact on the conservation area
- Other material considerations

Recommendation

APPROVE

THE APPLICATION

The application site lies in the north of Docking, within the development boundary and the Conservation Area. The site has extant permission for "Demolition of existing bungalow and erection of two semi-detached dwellings" (Application Permitted: 14/08/17).

The proposal seeks variation of condition 2 of planning permission 17/01043/F. "Demolition of existing bungalow and erection of two semi-detached dwellings".

The only proposed changes externally are the insertion of three high-level roof lights on the rear (east) elevation of no.1 and one high-level roof light to the front (west) elevation of no.1 to serve the proposed en-suite bathroom. The internal changes are the addition of a bedroom in the roof, with an en-suite bathroom, and first floor and ground floor plan changes.

SUPPORTING CASE

The agent submitted a letter with the application (30th November 2017) that contains the following supporting comment:

"The new windows to the rear face east with views out onto the open countryside. The new window in the en-suite faces out onto the street. There will be no effect on the amenity of surrounding properties. The minor amendments are not material to the planning merits of the scheme and should be acceptable from a principle and detailed perspective."

PLANNING HISTORY

17/01043/F: Application Permitted: 14/08/17 - Demolition of existing bungalow and erection of two semi-detached (Supported by the Parish Council)

RESPONSE TO CONSULTATION

Parish Council: OBJECTION because the council consider raising the property will make it out of character with the area and not in line with other properties in the area and that putting rooms in the roof is over development.

Highways Authority: NO OBJECTION

Historic England: No comments to make

Conservation Officer: NO OBJECTION This variation will have no further impact on the conservation area.

Environmental Quality Officer: No comments to make

Aboricultural Officer: No comment received

REPRESENTATIONS

No public objections were received.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

CS09 - Housing Distribution

CS11 – Transport

CS12 - Environmental Assets

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

National Planning Policy Framework – sets out the Government’s planning policies for England and how these are expected to be applied.

National Planning Practice Guidance - Provides National Planning Practice Guidance, in support of and in addition to the NPPF

PLANNING CONSIDERATIONS

The main issues for consideration in the determination of this application are:

- Principle of the development
- Design and amenity issues and impact on the conservation area
- Other material considerations

Principle of the development

The application to be varied (17/01043/F: - Demolition of existing bungalow and erection of two semi-detached dwellings) was permitted on the 14/08/17. The principle of development was established as part of the original permission and the application to vary condition is within three years of its determination date, therefore the principle of the development and the variation of condition are acceptable.

Design and amenity issues and impact on the conservation area

The only objection to the proposal is from Docking Parish Council on the grounds that raising the property will make it out of character with the area and not in line with other properties in the area and that putting rooms in the roof is over development.

The external dimensions of the proposed dwellings are unchanged from the original permission and the only external changes are the insertion of three high-level roof lights on the rear (east) elevation of no.1 and one high-level roof light to the front (west) elevation of no.1 to serve the proposed en-suite bathroom.

The addition of the high-level roof lights will not significantly impact on the character or setting of the street scene, or the Conservation Area. The Conservation Officer has commented that the variation will have no further impact on the conservation area. Also, given the distances to nearby properties and because the base of the proposed high-level roof lights will be set at 1.8m above the floor level, their addition won't result in overlooking.

It should also be noted that if the dwelling was already constructed, the addition of the roof lights in the original roof slope would be Permitted Development and therefore planning permission wouldn't be necessary. It is only necessary because the dwelling hasn't yet been constructed.

Other material considerations

There is an extra bedroom proposed in one of the plots, but, as the unit has 3 parking spaces, this accords with the Norfolk parking standards.

CONCLUSION

The principle of the development is acceptable and the only proposed changes externally are the insertion of roof lights. This will not alter the character or setting of the street scene or the Conservation Area, and there are no issues with overlooking.

The proposal would accord with policies DM1, DM2, and DM15 of the Development Management Policies Plan 2016 and the provisions of the National Planning Policy Framework 2012 and is sustainable development. It is therefore recommended for approval.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the 14th August 2020.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans:
DWG P01 Location plan (30th November 2017); DWG P04 Site Plan (30th November 2017); DWG P06 Proposed floor and roof plan (30th November 2017); DWG P07 Proposed elevations (30th November 2017); DWG P05 Proposed ground and first floor

Planning Committee
5 February 2018

plans (18th January 2018); and DWG P07 Proposed Site Section (17/01403/F, 8th June 2017)

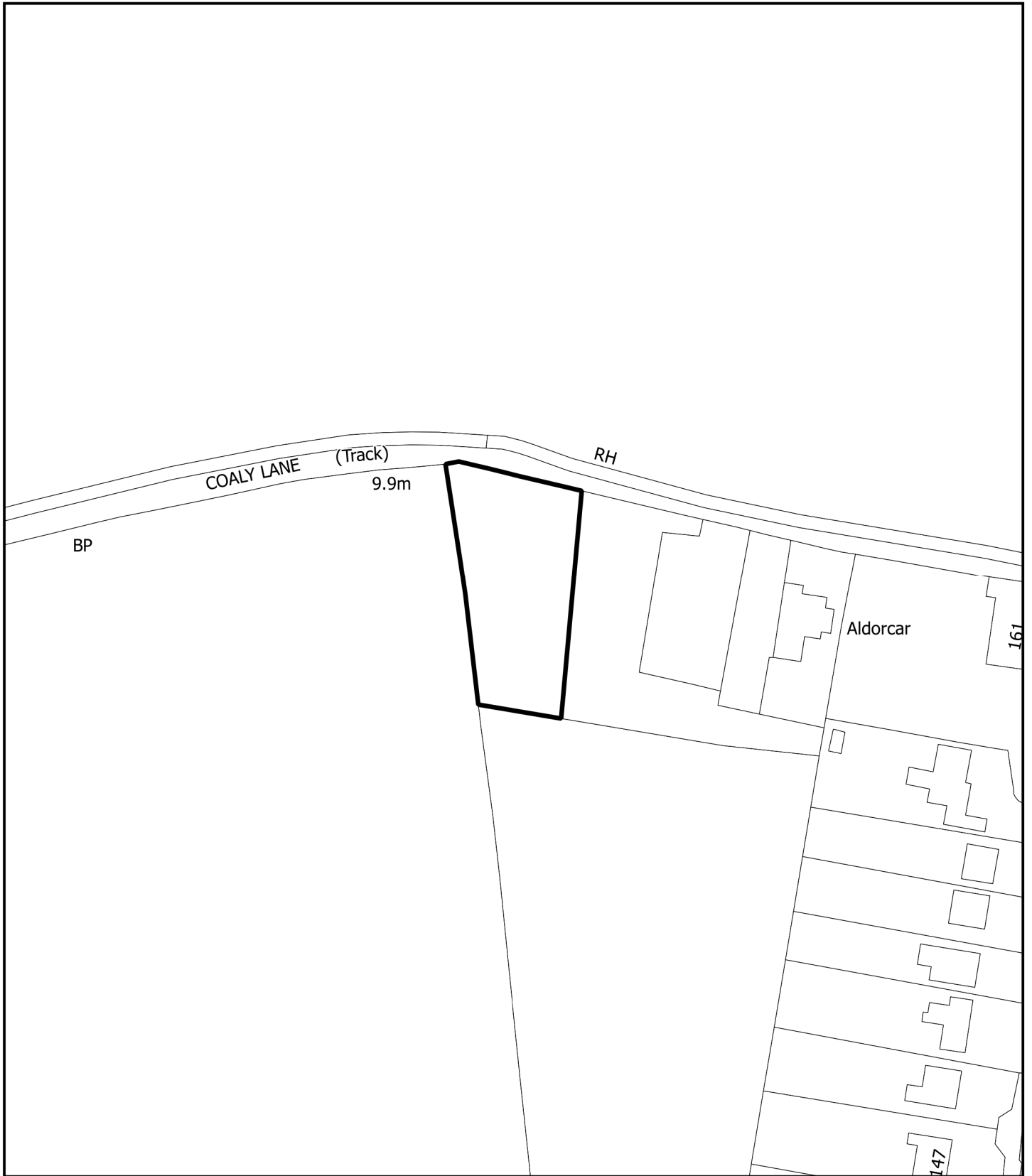
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: No development shall commence on any external surface of the development until a sample panel of the materials to be used for the external surfaces of the dwelling and provision of a boundary wall fronting the highway hereby permitted has been erected on the site for the inspection and written approval of the Local Planning Authority. The sample panel shall measure at least 1 metre x 1 metre using the proposed materials, mortar type, bond and pointing technique. The development shall be constructed in accordance with the approved details.
- 3 Reason: To ensure a satisfactory external appearance and grouping of materials in accordance with the principles of the NPPF.
- 4 Condition: Notwithstanding details received prior to first occupation of the development hereby permitted, a plan shall be submitted to and approved in writing by the Local Planning Authority indicating the positions, heights, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the building are occupied or in accordance with a timetable to be approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 4 Reason: To ensure that the development is compatible with the amenities of the locality in accordance with the NPPF.
- 5 Condition: No development over or above foundations shall take place on site until full details of the window style, reveal, cill and header treatment has been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
- 5 Reason: To ensure that the design and appearance of the development is appropriate in accordance with the principles of the NPPF.
- 6 Condition: Prior to the first occupation of the development hereby permitted the vehicular access shall be provided and thereafter retained at the position shown on the approved plan LS361-P04-A in accordance with the highway specification drawing No: TRAD 4. Arrangement shall be made for surface water drainage to be intercepted and disposed of separately so that it does not discharge from or onto the highway carriageway.
- 6 Reason: To ensure satisfactory access into the site and avoid carriage of extraneous material or surface water from or onto the highway.
- 7 Condition: Vehicular and pedestrian (and cyclist) access to and egress from the adjoining highway shall be limited to the access(es) shown on drawing No L361-P04-A only. Any other access or egresses shall be permanently closed, and the highway verge shall be reinstated in accordance with a detailed scheme to be agreed with the Local Planning Authority concurrently with the bringing into use of the new access.
- 7 Reason: In the interests of highway safety.
- 8 Condition: Prior to the first occupation of the development hereby permitted the proposed access on-site car parking & turning area shall be laid out, demarcated,

Planning Committee
5 February 2018

levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.

- 8 Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety.

17/01843/F
Coaly Lane Ingoldisthorpe



Parish:	Ingoldisthorpe	
Proposal:	Construction of a place of worship with car parking and landscaped grounds	
Location:	Coaly Lane Ingoldisthorpe Norfolk	
Applicant:	Watchtower Bible and Tract Society	
Case No:	17/01843/F (Full Application)	
Case Officer:	Mrs Jade Calton	Date for Determination: 6 December 2017 Extension of Time Expiry Date: 15 January 2018

Reason for Referral to Planning Committee – The Officer recommendation is at variance with the views of the Parish Council

Neighbourhood Plan: No

Case Summary

The application site comprises an irregular shaped parcel of land, measuring 1385 square metres and is situated on the southern side of Coaly Lane, off the western side of Lynn Road, Ingoldisthorpe.

The site is currently part of a container storage yard and is located just outside of the development boundary within the countryside. The site benefits from planning permission for a new storage building and siting of storage containers, granted in late 2015.

The application seeks full planning for the construction of a place of worship and associated car parking and landscaping.

Key Issues

- Principle of Development;
- Form and Character;
- Neighbour Amenities;
- Highway Safety; and
- Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application site comprises an irregular shaped parcel of land, measuring 1385 square metres and is situated on the southern side of Coaly Lane, off the western side of Lynn Road, Ingoldisthorpe.

The site is currently part of a container storage yard and is located just outside of the development boundary within the countryside. It will be utilising the western end of the site which has no standing containers at present.

The application seeks full planning permission for the construction of a place of worship and associated car parking and landscaping.

The proposed building will be detached with a pitched roof, constructed of brick, render and interlocking roof tiles. It will be positioned to the south-eastern corner of the site. Vehicular access will be provided off Coaly Lane. There will be provision for 30 car parking spaces and 6 bicycle spaces.

The existing hedging to the eastern (front) boundary and the existing mature trees to the northern boundary of the site are shown on the proposed plans to be retained. A new hedge is proposed to the southern and western boundaries and 1.8m high security fencing is proposed to the perimeter.

SUPPORTING CASE

A Design and Access Statement accompanies the application and offers the following supporting case:-

“The proposed building will provide a replacement facility for the existing meeting place at The Green, Hunstanton Road, Heacham. The proposed building is to be designated as a “Place of Worship” (Use Classes Order D1(h) Non-Residential Institution).

Meetings are held for congregation members and the general public. The purpose of such meetings is to provide Bible education. As such, Kingdom Halls are recognized as fulfilling a community function. The meeting hall will not be used for purposes that generate a high volume and frequency of traffic movements, such as a crèche, nursery or social club.

At the present time, services for the congregations take place on a regular basis (usually Sundays and a number of evenings during the week). The meeting hall will also be used on other occasions for weddings, funerals, meetings of the trustees, pastoral care and other ancillary activities such as cleaning and maintenance. Meeting times may vary but typically start after 9am and conclude before 10pm

The proposed new building will fully meet the needs of the applicant, as identified during the initial design stages.

The proposed development provides a building which will be an enhancement of the site in terms of quality of construction, energy use, inclusive access, and is in keeping with the principles of Sustainable Development.

It is considered that the scale, appearance and form of the proposed building are complimentary to the immediate context of the site, and will not detract from the character of its environment.

Car parking will be provided along the eastern and western boundaries, and to the rear of the hall. A total of 30 spaces will be provided, including two new accessible spaces immediately adjacent to the building entrance. Three motorcycle spaces will also be provided.

Provision is made for the secure parking of 6 cycles (3 Sheffield type hoops) close to the building entrance, to encourage "green" travel to the site".

PLANNING HISTORY

16/00142/PREAPP: INFORMAL - Likely to approve: 07/11/16 - PRE-APPLICATION ADVICE (FULL WITH CONSULTATIONS): Construction of Christian Meeting Hall with car parking and landscaped grounds - Coaly Lane, Ingoldisthorpe

16/01063/F: Application Permitted: 04/08/16 - Variation of condition 20 of planning permission 15/01422/F to update approved frontage boundary treatment - Sapphire Developments (Norfolk) Container Storage, Coaly Lane, Ingoldisthorpe

15/01422/F: Application Permitted: 18/11/15 - Construction of new storage building (amended design from approved scheme 12/01799/F) and siting of additional storage containers - Lark Engineering, Coaly Lane, Ingoldisthorpe

14/00366/O: Application Refused: 14/05/14 - Erection of 7 new dwellings and associated works - Land South of Coaly Lane, Ingoldisthorpe, Norfolk

12/01799/F: Application Permitted: 09/04/13 - Construction of new storage building and siting of containers for storage including retention of existing 5 no. storage containers - Land At Coaly Lane, Ingoldisthorpe

09/01978/LDE: Application Refused: 19/01/10 - Lawful Development Certificate:- Use of Land for commercial storage with additional business operation, nursery growing and selling plants - Coaly Lane, Ingoldisthorpe

09/00175/PREAPP: INFORMAL - Likely to refuse: 23/10/09 - INFORMAL REQUEST - Proposed residential development - Land At Coaly Lane, Ingoldisthorpe

07/00153/PREAPP: INFORMAL - Likely to refuse: 17/05/07 - INFORMAL REQUEST: demolition of existing buildings and construction of 8 storage units - Lark Engineering, Coaly Lane, Ingoldisthorpe

11/00069/LDE: Not Lawful: 31/03/11 - APPLICATION FOR CERTIFICATE OF LAWFUL DEVELOPMENT: Continued use of site/land as planning consent 2/82/3451/F for commercial storage & use of site/land for running of business - Coaly Lane Ingoldisthorpe Appeal Dismissed 20/03/12;

RESPONSE TO CONSULTATION

Parish Council: OBJECT:-

- Coaly Lane being an unadopted road which will not be able to handle the volume of traffic expected.

Planning Committee
5 February 2018

- Coaly Lane is used as a footpath by many parishioners (and those of Snettisham). Increased traffic could cause safety issues.
- Access to Coaly Lane (for the number of cars suggested by the size of the car park) could be dangerous due to lack of sightlines on exiting the road.
- The car park is not large enough, cars will end up parking on the main road and cause safety issues.

Highways Authority: NO OBJECTION conditionally.

Environmental Health & Housing – Environmental Quality: **NO OBJECTION** conditionally.

Environmental Health & Housing – CSNN: **NO OBJECTION**

Environment Agency: NO COMMENT TO MAKE.

Natural England: NO OBJECTION

REPRESENTATIONS

None received.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS08 - Sustainable Development

CS06 - Development in Rural Areas

CS02 - The Settlement Hierarchy

CS13 - Community and Culture

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM15 – Environment, Design and Amenity

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM9 - Community Facilities

DM17 - Parking Provision in New Development

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

National Planning Policy Framework – sets out the Government’s planning policies for England and how these are expected to be applied.

National Planning Practice Guidance - Provides National Planning Practice Guidance, in support of and in addition to the NPPF

PLANNING CONSIDERATIONS

The key considerations in the determination of this application are as follows:

- Principle of Development;
- Form and Character;
- Neighbour Amenities;
- Highway Safety;
- Other Material Considerations

Principle of Development

The application site lies just outside of the development boundary of Ingoldisthorpe. The proposal involves the construction of a community facility within the countryside where restrictive policies generally apply.

The intention is to relocate the existing facility which is currently located at The Green, Hunstanton Road, Heacham.

With regard to national policy, the NPPF states that the planning system can play an important role in facilitating social interaction and creating healthy, inclusive communities. To deliver the social, recreational and cultural facilities and services the community needs, planning should make provision for shared space, community facilities (such as local shops, meeting places, sports venues, cultural buildings, public houses and places of worship) and other local services to enhance the sustainability of communities and residential environments.

Local Policy CS06: Development in Rural Areas aims to:-

- Promote sustainable communities and sustainable development to ensure strong, diverse, economic activity;
- Maintain local character and a high quality environment;
- focus most new development in key rural service centres selected from the Settlement Hierarchy Policy CS02; and
- Ensure employment, housing, services and other facilities are provided in close proximity.

Locally, Development Management Policy DM2: Development Boundaries, states that areas outside development boundaries will be treated as countryside where new development will be more restricted and will be limited to that identified as suitable in rural areas by other policies of the local plan, including:

- Farm diversification (CS06);
- Small scale employment (CS10);
- Tourism facilities (CS10);
- Community facilities, development in support (CS13);
- Renewable energy generation (DM20);
- Rural workers housing (DM6); and
- Affordable housing (CS09).

Core Strategy Policy CS13: Community and Culture aims to deliver community well-being and enhance quality of life through good design; create sustainable communities through the provision of community infrastructure; and protect, enhancing and promote cultural assets as well as facilitating new cultural facilities in growth areas.

Policy DM9 refers specifically to Community Facilities and refers:-

‘The Council will encourage the retention of existing community facilities and the provision of new facilities, particularly in areas with poor levels of provision and in areas of major growth. Development leading to the loss of an existing community facility will not be permitted unless it is demonstrated that either: a) the area currently served by it would remain suitably provided following the loss, or if not
b) it is no longer viable or feasible to retain the premises in a community facility use.’

The preamble to the policy refers to the need to protect existing community facilities where there is a proven demand and to encourage replacement facilities in the immediate locality if it is not viable to retain the facility on site.

Whilst the site is just outside the village settlement boundary within the countryside, it is on a brownfield site with planning permission for B8 storage use. This is a material consideration. Furthermore, although the application site is part of a storage container yard, the red line area is not currently used for storage and is grass land. The proposal would therefore not result in any significant loss of employment land.

The loss of the existing community facility in Heacham would be considered separately through any potential planning application for that site and the proposed replacement, although not within close proximity, will be provided only two villages away which is relatively easily accessible by car and public transport.

In principle therefore the replacement of a new, improved community facility in this location is to be supported in policy terms, subject to other material considerations.

Form and Character

As mentioned above in the report, the site lies just outside of Ingoldsthorpe’s development boundary and within the countryside. The principle of the development is supported in policy terms as it will provide a replacement community facility, albeit technically within the countryside.

The application is currently part of a storage container yard but the parcel outlined in red is not used; it is grass land lined with mature trees to its western boundary.

The neighbouring dwelling to the east; 'Aldorcar' is the last house within the development boundary along Coaly Lane. However, planning permission has been approved for the construction of a bungalow (16/01633/RM - not yet commenced) on a parcel of land between Aldorcar and the storage container site. The proposed building will be situated to the west of the container site, continuing the built form along Coaly Lane, therefore in context, the building will be in keeping with the form and layout of the area.

The proposed building will be of simple construction; a single storey building with a pitched roof, facing brickwork, render, and interlocking roof tiles. It is considered that the proposed development would be in keeping with the building characteristics of the locality and is not considered to cause any adverse impact on the character and appearance of the surrounding countryside.

Neighbour Amenity

The nearest current neighbouring dwelling is 'Aldorcar' to the east of the site. As mentioned above, permission has been granted for a dwelling directly to the west of Aldorcar. The storage container yard sits in between the site and the neighbouring properties; therefore it is not considered that the proposal would cause any direct adverse impact upon the amenities, in terms of loss of privacy, loss of light or overbearing impact to those residents.

There is likely to be a relatively low level of noise and disturbance associated with the proposed place of worship which may affect the two properties that are currently accessed from Coaly Lane; Aldorcar and no. 161. The new dwelling has not been constructed yet so that would become a 'buyer beware' situation.

As far as the LPA is aware the land owner of the application site and the storage yard is the same as at Aldorcar, Coaly Lane. The applicant of this proposal will purchase the land subject to planning permission being approved; the correct notices have therefore been served. Whilst the LPA has to consider the impact on neighbour amenity regardless of any situation, the fact that Aldorcar is willing to sell the land for the purposes proposed indicates that they consider no disamenity will arise. There have been no representations or objections received from this, or any other, address.

The lane already experiences comings and goings from the storage yard site. The place of worship will inevitably increase the amount vehicular traffic on the lane. However, whilst there are some loose chippings, the track is not made up of loose shingle so the noise associated with this will be minimal. Given the nature of the lane vehicles cannot travel at any speed to exacerbate this.

No. 161 is bounded along Coaly Lane by a 2m wall, leylandi hedging, shrubs and a mature tree, and Aldorcar is bounded by a 1.2m close boarded timber fence and shrubs which will help reduce any impact from car headlights and associated noise and disturbance.

There is a gap between the application site and the neighbouring dwellings where the containers are sited. This will offer a break between buildings and reduce any impact from noise associated with activities taking place within the hall. The agent has confirmed that the building will have an integrated sound system which has a public address system designed to only be audible to users inside the building. Services do not consist of live music.

Highway Safety

A new vehicular access will be provided off Coaly Lane. It is proposed to provide 30 car parking spaces, including two accessible spaces, 3 motorcycle spaces and hoops for 6 bicycles.

Norfolk County Highways have been consulted on the application and have advised that with consideration of the improvements previously made to the access, the proposed parking provision which is in accordance with current requirements and the presence of pedestrian facilities linking to adjacent villages of Dersingham and Snettisham, they have no objection to the proposed development.

The Parish Council have raised an objection to the proposal on highway grounds as they are concerned that Coaly Lane, being an unadopted road, won't be able to handle the volume of traffic and that the increase could cause safety concerns. However, a material consideration in this case is the fact that the application site is already part of a storage container yard and has planning permission for a Class B8 storage building which could potentially result in significant vehicle movements, including HGV's. The proposed use is therefore unlikely to result in such an increase in traffic to warrant refusal of the application on highway safety grounds.

Other Material Considerations

Crime and Disorder:

Section 17 of the Crime and Disorder Act 1998 requires Local Authorities to consider the implications for crime and disorder in the carrying out of their duties. The application before the Committee will not have a material impact upon crime and disorder.

Drainage:

The agent is awaiting infiltration test results so as to ascertain a suitable design for drainage/storm water. Investigations are ongoing with Anglian Water and the vendor with regards to Foul Sewers. All possible options are being thoroughly investigated and although the final technical solution has not been designed at this stage, full details of drainage will be the subject of a pre-commencement condition.

Full details of drainage will be conditioned.

CONCLUSION

This application seeks permission for a place of worship on the edge of the settlement boundary in the countryside. The site is considered to be brownfield land as it is currently part of a storage container yard. Local and National Policies support development for community facilities in rural areas.

The potential impact on neighbour amenities associated with the noise and disturbance from vehicular movements along Coaly Lane are considered to be minimal and would not lead to an objection from Officers.

Although the Parish Council have raised concerns of highway grounds, it is not considered that the proposal would adversely affect highway safety, given the previous uses on the site, the highway improvements that have occurred already and the lack of a highway authority objection.

Based on the above, it is your officer's opinion that the proposed place of worship would be acceptable in this location as it complies with relevant local and national planning policies and other material considerations. The application is therefore recommended to be approved subject to conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 91 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plans 1705/PL001, 1705/PL002, 1705/PL003 and 1705/PL004.
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: Prior to the commencement of the use hereby permitted the proposed access / on-site car and cycle parking / servicing / loading, unloading / turning area shall be laid out, demarcated, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 3 Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety.
- 4 Condition: No development shall commence until full details of the foul and surface water drainage arrangements for the site have been submitted to and approved in writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.
- 4 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

5 Condition: The premises shall only be used between the hours of 08:00 and 22:00 Monday to Saturday and 08:00 to 18:00 on Sundays, Bank and Public Holidays unless otherwise approved in writing by the Local Planning Authority.

5 Reason: In order that the Local Planning Authority may retain control over the development in the interests of the amenities of the locality in accordance with the NPPF.

6 Condition: Prior to the commencement of groundworks, an investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the Local Planning Authority. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority. The report of the findings must include:

(i) a survey of the extent, scale and nature of contamination;

(ii) an assessment of the potential risks to:

- * human health,
- * property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
- * adjoining land,
- * groundwaters and surface waters,
- * ecological systems,
- * archaeological sites and ancient monuments;

(iii) an appraisal of remedial options, and proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the Management of Land Contamination, CLR 11'.

6 Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors. This needs to be a pre-commencement condition given the need to ensure that contamination is fully dealt with at the outset of development.

7 Condition: Prior to the commencement of groundworks, a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared, and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

7 Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried

Planning Committee
5 February 2018

out safely without unacceptable risks to workers, neighbours and other offsite receptors. This needs to be a pre-commencement condition given the need to ensure that contamination is fully dealt with at the outset of development.

- 8 Condition: The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of groundworks, other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be produced, and is subject to the approval in writing of the Local Planning Authority.

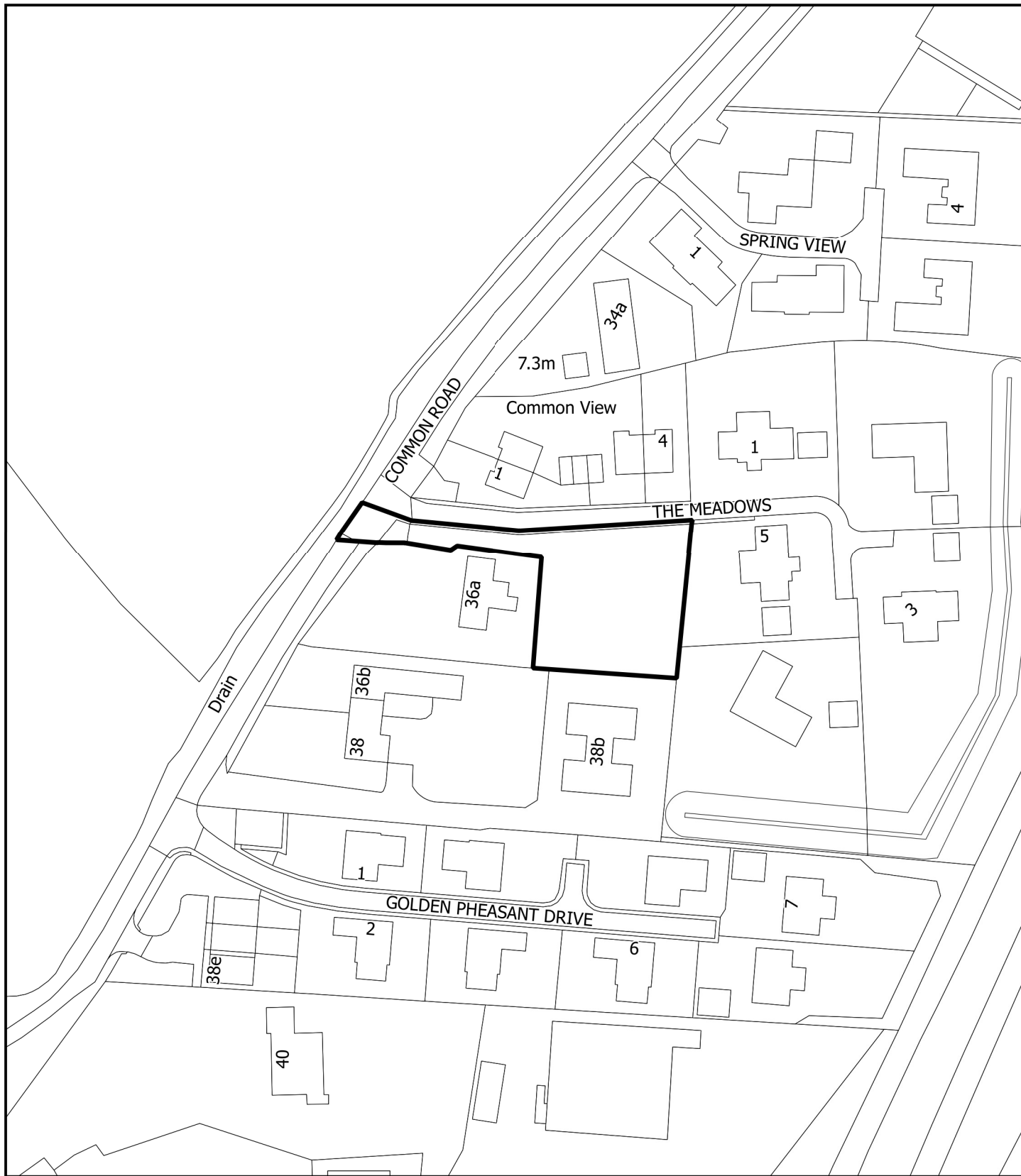
- 8 Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors. This needs to be a pre-commencement condition given the need to ensure that contamination is fully dealt with at the outset of development.

- 9 Condition: In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 6, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 7, which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition 8.

- 9 Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors. This needs to be a pre-commencement condition given the need to ensure that contamination is fully dealt with at the outset of development.

17/02342/F
36A Common Road Snettisham



Parish:	Snettisham	
Proposal:	Construction of two dwellings	
Location:	36A Common Road Snettisham King's Lynn Norfolk	
Applicant:	G H Owen Property Ltd	
Case No:	17/02342/F (Full Application)	
Case Officer:	Mr Philip Mansfield	Date for Determination: 9 February 2018

Reason for Referral to Planning Committee – Officers recommendation is contrary to the views of the Parish Council

Neighbourhood Plan: No adopted plan, although a draft plan has been produced.

Case Summary

The application site relates to an undeveloped portion of land situated on the eastern side of Common Road in Snettisham.

The proposal is to construct two new dwelling houses that would utilise the existing access serving no 36a Common Road.

The National Planning Policy Framework 2012, the King's Lynn and West Norfolk Core Strategy 2011, the King's Lynn and West Norfolk Site Allocations and Development Management Policies Plan 2016 are relevant to this application.

The site borders the AONB boundary.

Key Issues

- Principle of Development
- Form and Character and amenity
- Highways
- Trees
- Other considerations

Recommendation

APPROVE

THE APPLICATION

The site comprises an undeveloped portion of land thought to have been in use previously as extended garden. Vehicular access is from Common Road, which currently serves the existing property no 36a. The site is bordered by close boarded fencing on all sides.

The application proposes two chalet bungalow style dwellings with attached garages and associated parking.

SUPPORTING CASE

Snettisham is a village situated to the east of the A149 and is designated as a Key Rural Service Centre. The village has a good range of facilities and is well connected to other larger villages and towns via the A149 coastal road.

The applicant has submitted a design and access statement in support of the application.

In response to the Parish Council objections:

Overdevelopment: Although the proposed plots would be smaller than some of those in the surrounding area they are thought to be sufficient as not to appear cramped when viewed from the highway. It is also the case that there are no local plan policies or guidance with respect to garden size.

Character: There are other examples of chalet dwellings in the vicinity, most notably the neighbour to the east of the site features upper floor accommodation.

Overlooking: The principal upper floor windows look towards Common View in which there would be a considerable distance. This is considered to mitigate any potential overlooking of neighbouring properties.

Drainage: The applicant has stated that it is not possible to connect to the public sewer and have therefore said that the intention is to install a sewage treatment plant having discussed the matter with the Environment Agency.

Conclusion:

The proposed works would not be harmful to the character of the surrounding area.

PLANNING HISTORY

No relevant planning history

RESPONSE TO CONSULTATION

Parish Council - OBJECTION:

- Overdevelopment
- Design and character
- Overlooking
- Drainage

Highways Authority - NO OBJECTION - subject to conditions

Arboricultural Officer – NO OBJECTION:

Environmental Quality – NO OBJECTION:

Environmental Agency – NO OBJECTION: advice was provided regarding the use of a sewage treatment plant

Natural England – NO OBJECTION:

Norfolk Coast Partnership - OBJECTION: based on overdevelopment

REPRESENTATIONS

There were **eight** letters of **objection** from neighbouring properties concerning:

- Design & Character-out of keeping with the surrounding area
- Overdevelopment- two dwellings would be cramped
- Residential Amenity- overlooking neighbouring dwellings
- Loss of trees- impact to screening of the site
- Materials- out of character with the area
- Noise & Disturbance- from any proposed heat pumps
- Foul Drainage- connection with main sewer
- Boundary Treatment- impact of stark fencing
- Highways- intensification in the access

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS08 - Sustainable Development

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

PLANNING CONSIDERATIONS

Principle of Development
Form and Character and Amenity
Highways
Trees
Other considerations

Principle of development:

The site lies within the settlement boundary of Snettisham, where the principle of development is acceptable.

The National Planning Policy Framework (NPPF) seeks a high standard of design which can contribute positively to making places better for people. Some of the key objectives are for development which accords to the local context and creates or reinforces local distinctiveness that is visually attractive as a result of good architecture and landscaping.

In terms of the KLWNBC Core strategy 2011:

Policy CS08 advises that all new development in the borough should be of high quality design.

In terms of the Site Allocations and Development Management Policies Plan 2016:

Policy DM2 states that development will be permitted within the development boundaries of settlements shown on the Policies Map provided it is in accordance with the other policies in the Local Plan.

Policy DM15 (environment, design, amenity) states that development must protect and enhance the amenity of the wider environment including its heritage and cultural value and that proposals will be assessed against their impact on neighbouring uses and their occupants. Furthermore, proposals will be assessed against a number of factors including overbearing, overshadowing, noise and visual impact and development that has a significant adverse impact on the amenity of others or which is of a poor design will be refused.

It is noted that Snettisham Parish Council has developed a draft Neighbourhood Plan which has recently had a pre-submission consultation. Within this Neighbourhood Plan draft policies relevant to the application ask that:

- New dwellings should consist predominantly of semi-detached houses and bungalows with two or three bedrooms;
- New dwellings should be fully occupied and not used as second/holiday homes – this to be enforced through a covenant;
- Dwellings should include local materials, e.g. carrstone, and be in keeping with the rest of the Village;
- Dwellings should be constructed to the best practicable environmental standards;
- Dwellings should have gardens; and
- All dwellings should have off-road parking, appropriate to their size.

Form and Character and Amenity:

The site is located in Snettisham which is designated as a Joint Key Rural Service Centre. It is inside the development boundary as detailed in the Site Allocations and Development

Management Policies Plan 2016. Development on the eastern side of Common Rd mainly consists of residential in the form of bungalows and also commercial units including an auction centre and vehicle garage.

The site is considered to be capable of accommodating two proposed units without appearing cramped or altering the character of the street scene. Although the proposed works may be viewed as 'back land' development, the assessment has taken into account that the pattern of built form varies and is not solely linear along Common Rd. The proposed plots will be surrounded by existing residential development.

It is noted that the proposed plots would be smaller than that of no 36a, however the neighbourhood does display examples of development in a tighter formation. The view therefore is that the proposal would not be harmful in terms of form and character.

The proposed dwellings would be of chalet bungalow style which is considered to be appropriate in the context of the location. They feature gable roofs with two pitched dormers on the front elevation and materials consisting of traditional brick & stone Henley Blend bricks and rustic smooth pantiles for the roof.

Policy DM15 states that proposals will be assessed against their impact on neighbouring uses and their occupants including overbearing, overshadowing, noise and visual impact and development that has a significant adverse impact on the amenity of others or which is of poor design.

A number of comments were received with respect to the impact to neighbour amenity. The layout with respect to the distance retained between properties and their gardens is considered to prevent an overbearing impact on neighbouring dwellings that would warrant an objection on these grounds. The height of the proposed garage adjacent to the eastern boundary has been specifically considered but not thought to unduly impact the amenity of the neighbouring property.

The principal upper floor dormer windows would face north towards The Commons which is separated by the access drive serving The Meadows. There is thought to be no harmful impact in terms of overlooking neighbouring properties given the distances involved. There is a side window serving an ensuite facing neighbouring properties to the east, but this can be conditioned to be obscurely glazed to protect neighbouring amenity.

Highway Issues:

NCC Highways expressed no objections subject to conditions.

Trees:

The arboricultural officer has raised no objections as no significant trees would be lost as a result of the proposal.

Other Considerations:

A number of comments were received with respect to drainage. Given the distance of the proposed dwellings from the mains sewer it would not be viable to install a connection so the intention is to use a sewerage treatment plant. Correspondence provided by the applicant confirms this matter has been discussed with the Environment Agency who have no objections subject to conditions.

With respect to boundary treatment, the existing 1.8m high fencing is to be retained alongside laurel hedging at the front boundary as indicated on the proposed site plan which is considered to be acceptable.

CONCLUSION:

The proposal is to construct two chalet bungalows with attached garages on land to the rear of no 36a Common Rd, Snettisham. The extent of the site would allow for the siting of two units whilst the proposed design is thought to be in keeping with the surrounding area.

In terms of neighbour amenity, the proposed site layout does give a good level of separation with neighbouring dwellings. The proximity of the neighbour to the eastern boundary has been observed but the proposed dwelling is not considered to impact upon the amenity of this property or other adjacent properties to a level that would warrant an objection.

The proposal would accord with policies DM1, DM2 and DM15 of the Development Management Policies Plan 2016 and the provisions of the National Planning Policy Framework 2012 and is sustainable development. It is therefore recommended for approval.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

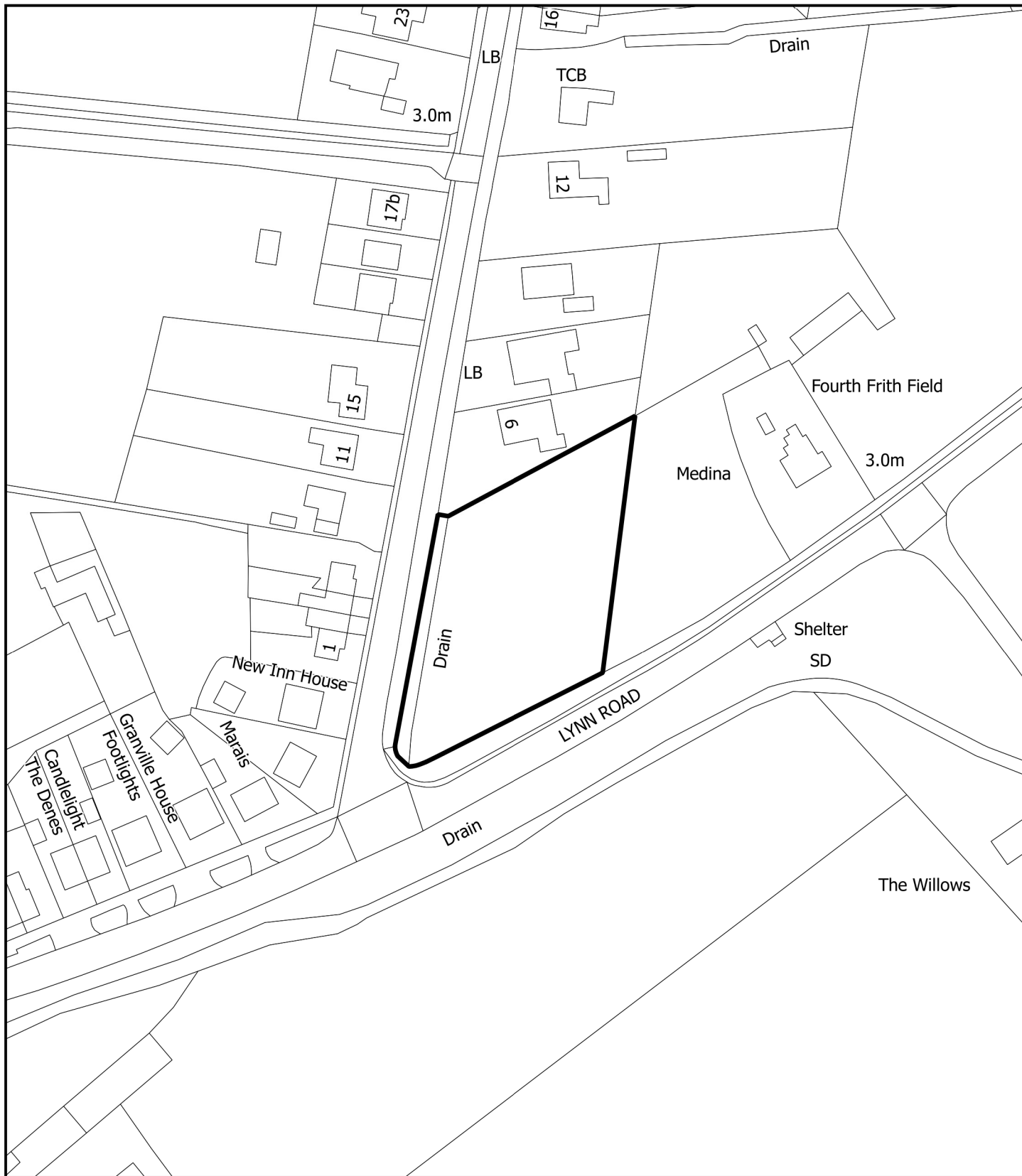
- 1 Condition: The development hereby permitted shall be begun before the expiration of three years from the date of this permission.
- 1 Reason: To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: The development hereby permitted shall be carried out in accordance with the following approved plan:
Proposed plans and elevations drawing no 2123-15B, site plan, location plan & sections drawing no 2123-14E
- 2 Reason: For the avoidance of doubt and in the interests of proper planning.
- 3 Condition: Notwithstanding the submitted details unless otherwise agreed in writing by the Local Planning Authority the proposed private drive shall be maintained in perpetuity at a minimum width of 4.5 metres for its complete length and shall be constructed perpendicular to the highway carriageway for a minimum length of 10 metres as measured from the near edge of the highway carriageway.
- 3 Reason: In the interest of highway safety and traffic movement.
- 4 Condition: Notwithstanding the provision of Class A of Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development) Order 2015, (or any Order revoking, amending or re-enacting that Order) no gates, bollard, chain or other means of obstruction shall be erected across the approved access unless details have first been submitted to and approved in writing by the Local Planning Authority.
- 4 Reason: In the interests of highway safety.

- 5 Condition: Prior to the first occupation of the development hereby permitted the proposed access / on-site car parking / turning area shall be laid out, levelled, surfaced and drained in accordance with the approved plan and retained thereafter available for that specific use.
- 5 Reason: To ensure the permanent availability of the parking / manoeuvring area, in the interests of highway safety.
- 6 Condition: Before the first occupation of the building hereby permitted the upper floor window on the eastern elevation of plot 2 shall be fitted with obscured glazing and any part of the window(s) that is less than 1.7 metres above the floor of the room in which it is installed shall be non-opening. The window(s) shall be permanently retained in that condition thereafter.
- 6 Reason: To protect the residential amenities of the occupiers of nearby property.
- 7 Condition: No development shall commence until full details of the foul and surface water drainage arrangements for the site have been submitted to and approved in writing by the Local Planning Authority. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.
- 7 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

This needs to be a pre-commencement condition as drainage is a fundamental issue that needs to be planned for and agreed at the start of the development.

17/00027/O

Land to the West of Medina, Lynn Road, Tiney All Saints



Parish:	Tilney All Saints	
Proposal:	Outline Application: Construction of 5 dwellings and associated external works.	
Location:	Land To the West of Medina Lynn Road Tilney All Saints Norfolk	
Applicant:	Mr & Mrs Goldsmith	
Case No:	17/00027/O (Outline Application)	
Case Officer:	Mrs N Osler	Date for Determination: 9 March 2017 Extension of Time Expiry Date: 9 March 2018

Reason for Referral to Planning Committee – Officer recommendation is contrary to Parish Council recommendation

Neighbourhood Plan: No

Case Summary

Members may recall this application as it came before them in May 2017. The application was deferred to enable further work in relation to drainage.

The application is in outline with all matters reserved for residential development on a site measuring approximately 0.26ha on the corner of School Road and Lynn Road, Tilney All Saints. The site represents the housing allocation in the Site Allocations and Development Management Policies DPD, 2016 (SADMP) and Policy G97.1 relates specifically to development of this allocation.

Key Issues

- Principle of Development
- Form and Character
- Highway Safety
- Neighbour Amenity
- Flood Risk
- Ecology
- Other Material Considerations

Recommendation

APPROVE

THE APPLICATION

The application is made for outline planning permission with all matters reserved for the erection of 5 dwellings on land at School Road and Lynn Road, Tilney All Saints.

The site is allocated within the Site Allocations and Development Management Policies DPD (SADMP) for residential development of at least 5 homes, and SADMP policy G97.1 relates specifically to development of this site.

The site lies in Flood Zones 2 and 3 as depicted on the Environment Agency's Flood Maps.

SUPPORTING CASE

The application submission contained a brief planning statement, a site specific flood risk assessment and a drainage strategy. The Planning Statement states:

Habitats Monitoring

Outline application of 2585m² site consisting of 5 proposed dwellings.
Habitats monitoring fee required £50.00 x 5 = £250.00

Affordable Housing Contribution

Outline application of 2585m² consisting of 5 proposed dwellings falls below dwelling number threshold (6) for affordable housing contribution.

Outline application floor area of plots (all approximate):

- Plot 1: 4 Bed Detached, Double Carport. Approx GIA 125m².
- Plot 2: 3 Bed Semi-Detached, Double Carport. Approx GIA 118m².
- Plot 3: 3 Bed Semi-Detached, Double Carport. Approx GIA 110m².
- Plot 4: 3 Bed Semi-Detached, Double Carport. Approx GIA 110m².
- Plot 5: 3 Bed Semi-Detached, Double Carport. Approx GIA 118m²

Total floor area created approximately 581m², falls below floor area threshold (1000m²) for affordable housing contribution.

Flood Risk Assessment

A separate Flood Risk Assessment prepared by ESP accompanies the application.

PLANNING HISTORY

99/1503/O - Site for construction of 2 dwellings – Refused

RESPONSE TO CONSULTATION

Following the submission of amended plans showing two potential accesses, one from Lynn Road and one from School Road, and additional information in relation to drainage, consultees responded as follows:

Tilney All Saints Parish Council: **OBJECT** to the application as it puts current residents at risk of flooding. The drainage issues need to be resolved in full before any planning permission is granted. This is supported by the objection of the IDB to the proposed draft drainage strategy.

The Parish Council still has the same concerns over access as stated in their Objection to the original application. See below. "There are also Highways issues with safety concerns regarding access to the properties being so close to the junction of School Road and Lynn Road. Existing residents already park on one side of School Road, as there is no off road parking, effectively making the top of School Road a single lane. This route is also regularly used by significantly large agricultural vehicles and school buses".

Access is still being shown via School Road. This was discussed, along with the drainage issues, at a village meeting with the agent on 7th September 2017 and it was agreed access would be best via Lynn Road. This was confirmed in the agents email to Mrs Osler dated 11th September 2017. The addition of a gated access on Lynn Road would not stop use of the School Road access, especially if residents need to pull up on Lynn Road to open a gate before accessing the site.

King's Lynn Drainage Board: Thank you for your re-consultation regarding the above site, received 04/01/2018.

We previously objected to this application, as it was not clear within the draft drainage strategy how the applicant intended to achieve a connection to the wider drainage network. The applicant has since submitted a revised drainage strategy report (Waterco, Drainage Strategy First Issue, January 2018) which clarifies that the intention is to discharge to the drain to the west of the site, adjacent to school road (should infiltration not prove viable). The Drainage Strategy Report has now confirmed that it is understood that the drain adjacent to School Road is under ownership of the applicant.

However it remains ambiguous as to who is responsible for the third party asset (culvert) beneath Lynn Road. We previously stated that should the intention be to discharge to this drain a survey would be required, establishing the capacity and state of this system, including the mechanism by which it connects to the wider drainage network. The Drainage Strategy Report has now stated that a drainage survey will be undertaken at the detailed design stage to establish the condition and size of the culvert. Surface water should be discharged to the land drain to the west of the site at a restricted rate of 2 l/s. If required, land drain and culvert improvement works will be undertaken by the developer prior to undertaking any building works.

There remains a risk that should this site obtain outline planning permission, and it was not possible for the applicant to undertake the required remedial works to the culvert (or if the survey showed that there was insufficient capacity in the system), that the Board would not be able to issue consent to discharge, and as such it would not be possible to implement the outline planning permission. It is our opinion that ability of the site to drain is a material consideration to this planning permission.

One way to negate this risk would be to ask to applicant to undertake the survey work, and propose the required remedial works (along with any required consents, e.g. support from Norfolk County Council Highways Department) as part of the outline application. However, it is for you, the Local Planning Authority, to determine whether this is reasonable as part of an outline application.

As stated within our previous correspondence, the aforementioned survey will assist the Board in assessing the rate of discharge acceptable to the board, as this is dependent on

Planning Committee
5 February 2018

the constraints within the system (although it is our preference, in all cases, that discharge is reduced to as close to the greenfield runoff rate as is possible). Therefore, we are not able to advise on the rate of discharge to this watercourse prior to the survey taking place, and it is possible that a discharge rate of 2l/s will not be acceptable to the Board.

Finally, we expect that should the applicant be dependent on the culvert beneath Lynn Road, a maintenance schedule should formalise maintenance arrangements for the culvert, including acknowledging who will be responsible for this maintenance (again this should be approved by Norfolk County Council's Highways Department). This may involve adoption of the asset, or clarification of responsibilities.

Therefore, subject to you accepting the aforementioned risk, we have removed our objection subject to conditions being attached to any consent if this application is approved.

Natural England: No comment

Local Highway Authority: Continues to have **NO OBJECTION** at this stage

Environment Agency: No further comments to make to our letter dated 17 February 2017

Environmental Health & Housing – Environmental Quality: No comments to make regarding contaminated land or air quality.

REPRESENTATIONS

Two letters of **objection** have been received following the submission of amended plans and drainage strategy. The reasons for objection relate to:

- Highways safety - entry and exit on Lynn Road is much safer than on School Road
- Medina own land to the other side of property and it would be better to build further away from the busy junction of School Road
- Drainage and risk of flooding to property to immediate north of site (which already suffers from severe flooding due to drainage issues in the locality). Author considers that a shared pumping station should be utilised for both surface water and treated effluent and that consent should not be granted until further survey work is done and the road access is changed

ORIGINAL RESPONSE TO CONSULTATION

Tilney All Saints Parish Council: At the Parish Council meeting held on 9th February 2017, councillors unanimously **OBJECTED** to the above application because of the drainage effect and flood risk to existing properties in School Road.

There are ongoing drainage problems in that area of the village.

There is no main sewage in the village as stated in the report.

The height of the proposed dwellings would be above existing properties causing them to be overlooked with a loss of privacy and sunlight.

There are also Highway issues with safety concerns regarding the access to the properties being so close to the junction of School Road and Lynn Road.

Existing residents already park on one side of School Road, as there is no off road parking, effectively making the top of School Road a single lane.

This route is also regularly used by significantly large agricultural vehicles and school buses.

The drainage and access issues with this site were raised by the Parish Council during the Local Plan consultation, and do not appear to have been addressed.

Highways Authority: NO OBJECTION subject to condition

Kings Lynn Drainage Board: NO OBJECTION subject to compliance with the board bylaws

Environmental Health & Housing – Environmental Quality: No comments to make regarding contaminated land or air quality.

Natural England: No comment

Environment Agency: NO OBJECTION subject to condition

REPRESENTATIONS

Five letters of **objection** have been received in relation to scale and impact of the dwellings on residential amenity, land levels, drainage, access and highway safety.

LDF CORE STRATEGY POLICIES

CS01 - Spatial Strategy

CS02 - The Settlement Hierarchy

CS08 - Sustainable Development

CS09 - Housing Distribution

CS11 – Transport

SITE ALLOCATIONS AND DEVELOPMENT MANAGEMENT POLICIES PLAN 2016

DM1 – Presumption in Favour of Sustainable Development

DM2 – Development Boundaries

DM15 – Environment, Design and Amenity

DM17 - Parking Provision in New Development

DM21 - Sites in Areas of Flood Risk

NATIONAL GUIDANCE

National Planning Policy Framework (NPPF)
Planning Practice Guidance (PPG)

National Planning Practice Guidance - Provides National Planning Practice Guidance, in support of and in addition to the NPPF

National Planning Policy Framework – sets out the Government’s planning policies for England and how these are expected to be applied.

PLANNING CONSIDERATIONS

The main issues for consideration in the determination of this application are:

Principle of Development
Form and Character
Highway Safety
Neighbour Amenity
Flood Risk
Ecology
Other Material Considerations

Principle of Development

The site represents the housing allocation in the adopted SADMP, 2016. Policy G97.1 states: Land amounting to 0.25ha, as shown on the Policies Map, is allocated for residential development of at least 5 dwellings. Development will be subject to compliance with all of the following:

1. Submission of a Flood Risk Assessment (FRA) that should address all forms of flood risk (coastal inundation, fluvial, pluvial and groundwater). The FRA should explain how surface water drainage will be managed. The FRA must demonstrate how the development would provide wider sustainability benefits to the community that outweigh the risk associated with flooding and that the development would be safe for its lifetime without increasing flood risk elsewhere and, where possible, would reduce flood risk overall. The FRA should also suggest appropriate mitigation (flood resiliency measures);
2. Submission of details showing how sustainable drainage measures will be incorporated into the development to avoid discharge to the public surface water network, and also to the amenity and biodiversity of the development. A suitable plan for the future management and maintenance of the SUDS should be included with the submission;
3. Provision of affordable housing in line with the current standards.

In relation to this a suitable FRA has been submitted; further drainage work has been undertaken and would be conditioned. This is discussed in more detail later in the report. With regard to affordable housing, as long as the GIA is below 1000m² GIA, affordable housing would not be required. This can be suitably conditioned.

It is therefore considered that the principle of development is acceptable.

Form and Character

All matters are reserved for future consideration, although the amended plans show an indicative scheme much more in keeping with the general characteristics of the locality. The indicative scheme also shows much greater separation between the northern most plot and No.6 School Road with the addition of a retaining wall and drainage area between.

Notwithstanding this, layout is for future consideration although due to the risks associated with flooding the new dwellings would need to be at least 1.5 storeys in height to enable first floor sleeping accommodation. This can be suitably conditioned.

Highway Safety

Access is also a reserved matter and will be dealt with at the detailed stage. However, the amended plans indicatively show the site being served by two accesses; one from Lynn Road and one from School Road. Whilst the Parish and third parties suggest that access to and egress from the site should only be from Lynn Road the Local Highway Authority (LHA) has no objection to the indicative accesses. This element is however not for full consideration at this outline stage. The applicant has nevertheless shown that the site can be accessed in a manner that the LHA considers to be safe.

Neighbour Amenity

Whilst layout, scale and appearance are reserved matters, it is considered that any material overlooking, overbearing or overshadowing impacts could be designed out, and will be dealt with at the detailed stage.

Flood Risk and Drainage

The site lies in an area at potential risk of flooding. Both national (the NPPF and NPPG) and local (the Development Plan) policy seeks to steer new development away from areas at risk of flooding by virtue of applying the sequential test.

However it is not necessary to undertake the sequential test on allocated sites (as it is considered that this occurred during the allocation process (NPPF paragraph 104)). Further, and in line with Development Plan Policy DM21, only the second element of the exception test is required (as it is likewise considered that the first element (wider sustainability benefits) is deemed to be met by the allocation process).

The second part of the exception test requires that a site-specific flood risk assessment must demonstrate that the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing flood risk elsewhere, and where possible, will reduce flood risk overall.

The submitted Flood Risk Assessment has satisfied the Environment Agency (EA) that the development can be made safe and the EA has no objection (subject to conditions) in relation to the risks associated with flooding. Any permission will need to be conditioned to be carried out in accordance with the recommendations and mitigation suggested in the Revised Flood Risk Assessment that accompanied the application.

There are known drainage issues in the locality of the site and as such further drainage work was requested. The latest drainage strategy has enabled the King's Lynn Drainage Board (KLIDB) to remove their objection subject to conditions being appended. KLIDB does however stress that the further works required by condition may not overcome the issues

Planning Committee
5 February 2018

with the site. In this regard, in planning terms, there is little risk. That is to say if the conditions cannot be discharged (because the site cannot be suitably drained) then the permission cannot be implemented. Your officers consider, given the outline nature of the application, and the fact that any outline permission can be suitably conditioned, that sufficient information has been submitted to allow determination of the application.

Ecology

A Phase 1 Ecology Report has been submitted. The conclusions of this report are that a further survey for great crested newts (GCNs) is advised and that in relation to breeding birds that the areas of hedging to be removed (to make way for the new accesses) should not be removed during the breeding season. Both these elements can be suitably conditioned.

In relation to the potential for GCNs the European Habitats Directive (the Directive) prohibits activities such as the deliberate capturing, killing or disturbance of protected species, subject to derogation in specific and limited circumstances. These requirements are enforced in England and Wales by the Conservation of Habitats and Species Regulations 2010 (the Regulations) and any derogation is regulated and overseen by a system of licensing administered by Natural England (NE).

In exercising its functions, including determining planning applications, a Local Planning Authority (LPA) is required to have regard to the requirements of the Habitats Directive in so far as they may be affected by the exercise of those functions. It is not the role or responsibility of the LPA to monitor or enforce NE's obligations under the Regulations. However, if a development proposal could potentially result in a breach of the Directive, the LPA is required to form a view on the likelihood of a licence being granted under the Regulations by NE in order to fulfil its own obligation to have regard to the Directive requirements.

NE will only grant a licence if satisfied that the three statutory tests prescribed under the Directive and the Regulations have all been met.

The tests are:

1. There are imperative reasons of overriding public interest (IROPI);
2. There are no satisfactory alternatives; and
3. It would not be detrimental to the maintenance of the population of the species at favourable conservation status.

It is understood that the level of detail required for a licence application to NE under the Regulations may not yet be available at the planning application stage. Also, the level of detail required for NE to satisfy the tests of derogation will usually be higher than that required in the planning consent process. However, the obligation on the LPA is to consider the likelihood of a licence being granted by NE, not to determine definitively whether or not the licence will, in fact, be granted. It therefore has to review the three tests, in the context of a planning application, to then form a view on the likelihood of NE granting a derogation licence under the Regulations.

In this case, a Phase 1 Ecology Survey concluded that the potential for impacts to local wildlife is almost negligible, with the possible exception being great crested newts (GCN), whose absence cannot be confirmed without further surveys.

The LPA can therefore conclude that there is the possibility that GCN are present and that if development were to proceed there is the possibility of a breach of the Directive. Therefore the LPA is required to consider the tests:

1. IROPI - NE's guidance advises that IROPI can potentially include developments that are required to meet or provide a contribution to meeting a specific need such as complying with planning policies and guidance at a national, regional and local level. The Local Plan shows a need for additional housing in the Borough over its fifteen year life (2011 - 2026).

Additionally, the site represents one of the housing allocations in the recently adopted Site Allocations and Development Management Policies DPD (SADMP)

2. No satisfactory alternatives – as mentioned above the site represents the allocation for housing development in Tilney All Saints.
3. Population maintenance - it appears to be unlikely that development of such a small parcel of land, with appropriate mitigation, will detrimentally impact the conservation status of GCNs.

The LPA can therefore reasonably form the view, from the information submitted to it for this planning application that NE would not be unlikely to grant a derogation licence under the Regulations in relation to this development and that planning permission should not be refused for this reason.

Other Material Considerations

Crime and Disorder - The proposal raises no specific issues in relation to crime and disorder. Due to the outline nature of the proposed development it is not possible to consider Secured by Design issues.

Parish Council and Third Party Representations

All the issues raised by the Parish Council and third parties have been covered in the main body of this report.

CONCLUSION

The site is within one of the borough's Rural Villages where residential development of an appropriate scale will be supported. Additionally this site represents the housing allocation in the adopted SADMP.

The application is in outline form with all matters reserved for future consideration. Basically the principle of residential development of the site is being sought. The site represents the housing allocation in the adopted SADMP and no objections have been received from statutory consultees on technical grounds.

It is therefore considered that the principle is acceptable and the application should be supported subject to the following conditions.

RECOMMENDATION:

APPROVE subject to the imposition of the following condition(s):

- 1 Condition: Approval of the details of the means of access, layout, scale, appearance and landscaping of the site (hereinafter called 'the reserved matters') shall be obtained from the Local Planning Authority before any development is commenced.
- 1 Reason: To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 2 Condition: Plans and particulars of the reserved matters referred to in Condition 1 above shall be submitted to the Local Planning Authority in writing and shall be carried out as approved.
- 2 Reason: To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 3 Condition: Application for the approval of reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.
- 3 Reason: To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 4 Condition: The development hereby permitted shall be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the latest such matter to be approved.
- 4 Reason: To comply with Section 92 of the Town and Country Planning Act, 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act, 2004.
- 5 Condition: The development hereby permitted shall be carried out in accordance with the recommendations contained in the Flood Risk Assessment that accompanied the application (carried out by ESP).
- 5 Reason: To reduce the risks associated with flooding in accordance with the NPPF, NPPG and Development Plan.
- 6 Condition: The development hereby permitted shall comprise of residential units that are no lower than 1.5-storeys in height and no higher than 2 storeys in height.
- 6 Reason: In the interests of the visual amenity of the locality and to reduce the risks associated with flooding in accordance with the NPPF, NPPG and Development Plan.
- 7 Condition: There shall be no ground-floor sleeping accommodation.
- 7 Reason: to reduce the risks associated with flooding in accordance with the NPPF, NPPG and Development Plan.
- 8 Condition: The development hereby approved shall comprise of no more than 5 residential units.
- 8 Reason: To define the terms of the permission.

9 Condition: The Gross Internal Area of the development hereby permitted shall not exceed 1000m².

9 Reason: To define the terms of the permission in accordance with the national indicative thresholds for affordable housing as specified in the NPPG.

10 Condition: No development shall commence until full details of the foul and surface water drainage arrangements for the site have been submitted to and approved in writing by the Local Planning Authority. The detailed designs of the surface water drainage scheme shall incorporate the following measures and the approved scheme will be implemented prior to the first occupation of the development. The scheme shall address the following matters:

I. Infiltration testing in accordance with BRE Digest 365. This should include detailed testing along the length of any proposed attenuation features.

II. If a strategy wholly reliant on infiltration does not prove viable, a drainage survey shall be carried out that establishes the condition and size of the culvert beneath Lynn Road and shall identify required remedial works. Confirmation is then required from Kings Lynn Internal Drainage Board that any proposed rates and volumes of surface water runoff from the development are acceptable.

III. Provision of surface water attenuation storage, sized and designed to accommodate the volume of water generated in all rainfall events up to and including the critical storm duration for the 1 in 100 year return period, including allowances for climate change, flood event.

IV. Detailed designs, modelling calculations and plans of the drainage conveyance network in the:

- 1 in 30 year critical rainfall event to show no above ground flooding on any part of the site.
- 1 in 100 year critical rainfall plus climate change event to show, if any, the depth, volume and storage location of any above ground flooding from the drainage network ensuring that flooding does not occur in any part of a building or any utility plant susceptible to water (e.g. pumping station or electricity substation) within the development.

V. A maintenance and management plan detailing the activities required and details of who will adopt and maintain the all the surface water drainage features for the lifetime of the development. This will also include the ordinary watercourse and any structures such as culverts within the development boundary.

VI. A maintenance and management plan detailing the activities required and details of who will maintain the culvert beneath Lynn Road for the lifetime of the development.

10 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

This needs to be a pre-commencement condition as drainage is a fundamental issue that needs to be planned for and agreed at the start of the development.

11 Condition: No development shall commence on site until full details of the land drainage arrangements for the site have been submitted to and approved in writing by the LPA. The drainage details shall be constructed as approved before any part of the development hereby permitted is brought into use.

11 Reason: To ensure that there is a satisfactory means of drainage in accordance with the NPPF.

This needs to be a pre-commencement condition as drainage is a fundamental issue that needs to be planned for and agreed at the start of the development.

12 Condition: Prior to the commencement of the development hereby permitted a survey to identify the extent of any Great Crested Newt populations on or adjacent to the development site shall be undertaken in accordance with a written survey proposal which shall have been submitted to and approved in writing by the Local Planning Authority prior to the survey taking place.

12 Reason: To identify the extent of any Great Crested Newt populations in accordance with the NPPF and NPPG.

13 Condition: The results of the survey required under Condition 12 above shall be submitted to and agreed in writing by the Local Planning Authority prior to the commencement of the development hereby permitted, including site clearance works. The results shall also provide for any mitigation / enhancement measures appropriate to the extent of any Great Crested Newt populations recorded in order to minimise the impact of the development upon the newts both during construction and upon completion. A timetable for the implementation/completion/maintenance of the mitigation / enhancement works shall also be submitted with the results. The mitigation/enhancement works shall be completed and maintained in accordance with the agreed details and timetable other than with the prior written approval of the Local Planning Authority or where a different mitigation scheme or timetable scheme is required under any Great Crested Newt license issued by Natural England.

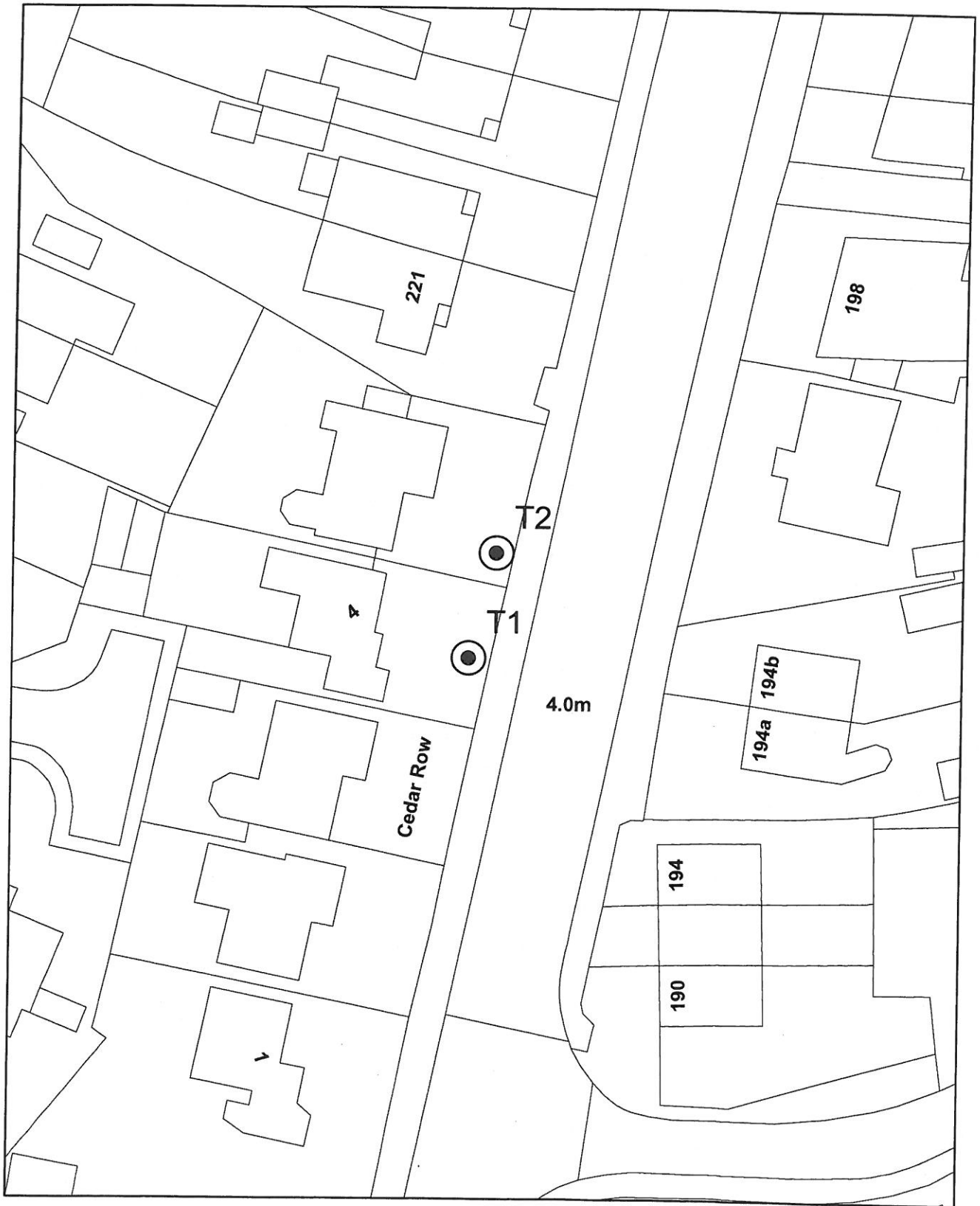
13 Reason: To ensure that the impact of the development upon protected species is minimised in accordance with the NPPF and NPPG.

14 Condition: Other than in relation to Great Crested Newts that are covered under separate conditions, the development hereby permitted shall be carried out in accordance with the recommendations contained in the Ecology Report that accompanied the application (dated April 2017 undertaken by Wild Frontier Ecology).

14 Reason: To ensure that the impact of the development upon protected species is minimised in accordance with the NPPF and NPPG.

2/TPO/00569

4 & 5 Cedar Row Wootton Road King's Lynn



AGENDA ITEM NO: 8/3(j)

Parish:	King's Lynn	
Purpose of report:	TO CONSIDER WHETHER TREE PRESERVATION ORDER 2/TPO/00569 SHOULD BE CONFIRMED, MODIFIED OR NOT CONFIRMED IN THE LIGHT OF OBJECTIONS	
Location:	4 & 5 Cedar Row Wootton Road King's Lynn Norfolk PE30 3BA	
Site owner/occupier:		
Case No:	2/TPO/00569	
Grid Ref:	563850 321487	Date of service of Order: 24 November 2017

RECOMMENDATION - CONFIRM ORDER WITHOUT MODIFICATION

THE SITE

The two Copper Beech trees (T1 & T2) are growing in the front gardens of numbers 4 & 5 Cedar Row, Wootton Road, King's Lynn. Both trees are highly visible from both north & south along Wootton Road.

REASON FOR MAKING THE TREE PRESERVATION ORDER

Following an appeal against a refusal of an application for tree works in 2017, the original of the previous TPO could not be found and, as the trees are of high amenity value it was considered to be prudent to serve a new, up to date TPO, to ensure that these trees were protected now and into the future. The Planning Inspectorate have suspended the appeal pending the outcome of the Committee decision to confirm or not the new Order. Should the Order be confirmed, then the appeal will continue. If the Order is not confirmed, then the trees can be removed.

OUTLINE OF OBJECTIONS AND REPRESENTATIONS

One objection letter was received from the owner/occupier of 4 Cedar Row, Wootton Road, King's Lynn. A summary of the objections are outlined below:

1. If the order is confirmed then this infringes the owner's human rights to protect their property, and does not respect their private and family life.
2. The tree is close to the property and overhangs the road.
3. The tree blocks light from the living room making it cold and depressing.
4. The tree has no amenity value.

RESPONSE TO OBJECTIONS AND REPRESENTATIONS

1. I am unsure as to how the confirmation of this TPO will infringe on human rights, as light levels can be improved via sensitive tree works.
2. Both of these factors should not prevent the confirmation of this TPO, and the location of these trees is not unusual. It is considered that sensitive works to the trees would help reduce the impact upon the property.
3. As above; raising the crown and thinning it will allow light to pass both below, and through, the canopy – this can be dealt with via a tree work application in the usual manner.
4. As previously mentioned, both of these trees are highly visible in the area and considered to add greatly to the street scene. They are considered to have a high amenity value. The amenity scoring assessment can be found at appendix 2 at the end of this report.

CONCLUSIONS

In conclusion, these trees are considered to contribute greatly to the character and appearance of the street scene and the wider landscape, both now, and into the future. It is considered that the reasons put forward by the objector are of insufficient weight to overcome the harm caused to the character and appearance of the locale that would occur should these trees be removed. It is therefore recommended that the Order is confirmed. If the Order is confirmed then the appeal previously lodged would continue.

RECOMMENDATION: CONFIRM ORDER WITHOUT MODIFICATION

Background Papers

TPO file reference: 2/TPO/00569

Appendix 1: Copy of scoring assessment

Contact Officer: Mr R. Fisher, Arboricultural Officer 01553 616386

TREE EVALUATION METHOD FOR PRESERVATION ORDERS - TEMPO

SURVEY DATA SHEET & DECISION GUIDE

Date: 17/11/17 Surveyor: R. Flower - Arb Officer BCKLWN

Tree details
 TPO Ref (if applicable): Tree/Group No: 42 Species: copper Beech
 Owner (if known): Location: 425 Cedar Pass, Wootton Road.

REFER TO GUIDANCE NOTE FOR ALL DEFINITIONS

Part 1: Amenity assessment

a) Condition & suitability for TPO

- 5) Good Highly suitable
- 3) Fair/satisfactory Suitable
- 1) Poor Unlikely to be suitable
- 0) Dead/dying/dangerous* Unsuitable

* Relates to existing context and is intended to apply to severe irremediable defects only

Score & Notes

5 - Healthy Trees

b) Retention span (in years) & suitability for TPO

- 5) 100+ Highly suitable
- 4) 40-100 Very suitable
- 2) 20-40 Suitable
- 1) 10-20 Just suitable
- 0) <10* Unsuitable

* Includes trees which are an existing or near future nuisance, including those clearly outgrowing their context, or which are significantly negating the potential of other trees of better quality

Score & Notes

2

c) Relative public visibility & suitability for TPO

Consider realistic potential for future visibility with changed land use

- 5) Very large trees with some visibility, or prominent large trees Highly suitable
- 4) Large trees, or medium trees clearly visible to the public Suitable
- 3) Medium trees, or large trees with limited view only Suitable
- 2) Young, small, or medium/large trees visible only with difficulty Barely suitable
- 1) Trees not visible to the public, regardless of size Probably unsuitable

Score & Notes

5 - Prominent large trees, clearly visible

d) Other factors

Trees must have accrued 7 or more points (with no zero score) to qualify

- 5) Principal components of formal arboricultural features, or veteran trees
- 4) Tree groups, or principal members of groups important for their cohesion
- 3) Trees with identifiable historic, commemorative or habitat importance
- 2) Trees of particularly good form, especially if rare or unusual
- 1) Trees with none of the above additional redeeming features (inc. those of indifferent form)
- 0) Trees with poor form or which are generally unsuitable for their location

Score & Notes

7

Part 2: Expediency assessment

Trees must have accrued 10 or more points to qualify

- 5) Immediate threat to tree inc. s.211 Notice
- 3) Foreseeable threat to tree
- 2) Perceived threat to tree
- 1) Precautionary only

Score & Notes

3

Part 3: Decision guide

- Any 0 Do not apply TPO
- 1-6 TPO indefensible
- 7-11 Does not merit TPO
- 12-15 TPO defensible
- 16+ Definitely merits TPO

Add Scores for Total:

16

Decision:

Issue TPO.

Planning Committee – 5 February 2018

APPLICATIONS DETERMINED UNDER DELEGATED POWERS

PURPOSE OF REPORT

- (1) To inform Members of the number of decisions issued between the production of the January Planning Committee Agenda and the February agenda. 156 decisions issued 148 decisions issued under delegated powers with 8 decided by the Planning Committee.
- (2) To inform Members of those applications which have been determined under the officer delegation scheme since your last meeting. These decisions are made in accordance with the Authority's powers contained in the Town and Country Planning Act 1990 and have no financial implications.
- (3) This report does not include the following applications – Prior Notifications, Discharge of Conditions, Pre Applications, County Matters, TPO and Works to Trees in a Conservation Area
- (4) Majors are assessed against a national target of 30% determined in time. Failure to meet this target could result in the application being dealt with by Pins who will also receive any associated planning fee.

RECOMMENDATION

That the reports be noted.

Number of Decisions issued between 16/12/17 - 24/01/18

	Total	Approved	Refused	Under 8 weeks	Under 13 weeks	Performance %	National Target	DCB decision	
								Approved	Refused
Major	3	2	1		3	100%	60%	1	1
Minor	73	66	7	71		97%	70%	3	3
Other	80	79	1	68		85%	80%	0	0
Total	156	147	9						

Planning Committee made 8 of the 156 decisions, 5%

PLANNING COMMITTEE -

APPLICATIONS DETERMINED UNDER DELEGATED POWERS

PURPOSE OF REPORT

To inform Members of those applications which have been determined under the officer delegation scheme since your last meeting. These decisions are made in accordance with the Authority's powers contained in the Town and Country Planning Act 1990 and have no financial implications.

RECOMMENDATION

That the report be noted.

DETAILS OF DECISIONS

DATE RECEIVED	DATE DETERMINED/ DECISION	REF NUMBER	APPLICANT PROPOSED DEV	PARISH/AREA
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15.08.2017	22.01.2018 Application Permitted	17/01565/LB	Albanwise LTD Avenue House Church Road Barton Bendish Norfolk Repair ceiling beam below a bedroom and above a reception room that has started to drop and replace/reinstate securely the flooring in the room above	Barton Bendish
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14.09.2017	17.01.2018 Application Permitted	17/01738/F	Mr N COURTENAY Cherry Ridge Docking Road Great Bircham King's Lynn Extension and alterations to dwelling following part demolition, proposed access and proposed cart shed	Bircham
16.11.2017	18.01.2018 Application Permitted	17/02142/F	Mr N Courtenay Cherry Ridge Docking Road Great Bircham King's Lynn Proposed driveway serving dwelling	Bircham
07.12.2017	23.01.2018 Application Permitted	17/02306/F	Mr & Mrs Kilian Barley House Church Lane Boughton King's Lynn VARIATION OF CONDITION 3 OF PLANNING PERMISSION 15/00999/F: Conversion of outbuilding to habitable annex: to allow use of annex as occasional holiday let	Boughton
14.11.2017	21.12.2017 Tree Application - No objection	17/00229/TREECA	C/o Agent White Acre Cross Lane Brancaster King's Lynn T1 & T2 Leylandii - Fell as outgrown location causing excessive shading. T3 Eucalyptus - Crown reduce by 2-3 meters within a conservation area	Brancaster

04.12.2017	19.12.2017 Application Permitted	15/01696/NMA_2	Mr Alexander Lowe Scuppers Cross Lane Brancaster Norfolk NON-MATERIAL AMENDMENT OF PLANNING PERMISSION 15/01696/F: Demolition of existing dwelling and construction of replacement dwelling	Brancaster
28.09.2017	11.01.2018 Application Permitted	17/01820/F	Mr & Mrs D Chapman Redwins 5 Market Place Burnham Market Norfolk Proposed Annex Room / Car Port, including alterations	Burnham Market
08.11.2017	03.01.2018 Application Permitted	17/02079/F	WW Properties (East Anglia) Limited Julers Yard 21 Front Street Burnham Market Norfolk Variation of condition 2 of planning permission 17/00630/F (Construction of a dwelling and car port/outbuilding): To vary previously approved drawings	Burnham Market
16.11.2017	05.01.2018 Prior Approval - Not Required	17/02147/PACU6	Mr Colin Bennett Birdie Fortescue 16 - 18 North Street Burnham Market Norfolk Prior notification for a change of use from retail (A1) to restaurant/cafe (A3)	Burnham Market

23.11.2017	12.01.2018 Application Permitted	17/02201/F	Mr & Mrs Rubin Bear And Beehive Cottage 47 Front Street Burnham Market Norfolk Alterations to roof structure and ridge line with conversion of loft space to habitable accommodation	Burnham Market
28.11.2017	24.01.2018 Application Permitted	17/02234/F	The Burnhams Tennis Club The Burnhams Tennis Club Station Road Burnham Market King's Lynn Dismantle the existing hut and relocate pro-tem (in the new perimeter area) whilst groundworks are completed and the pavilion is constructed. Once completed, the existing hut will then be removed from site, the new pavilion will then be used by the tennis club	Burnham Market
20.12.2017	10.01.2018 Application Permitted	16/01070/NMA_1	Prime Territory Ltd Locksley Cottage North Street Burnham Market Norfolk Non-material amendment of planning permission 16/01070/F: Variation of Condition 2 attached to Planning Permission 15/00887/F to amend drawings	Burnham Market

02.11.2017	19.12.2017 Application Permitted	17/02047/F	Mr & Mrs A Pugh Valley Side Chimney Street Castle Acre King's Lynn Variation of condition 2 of planning permission 16/00006/F: To amend previously approved drawings to reduce scale of store and garage and remove the studio area	Castle Acre
06.11.2017	11.01.2018 Application Permitted	17/02065/F	Mrs Monica Vinader Choseley Farmhouse Ringstead Road Choseley Docking Additions to north and south of existing forge extension to the west of Choseley Farmhouse, consisting of a conservatory to the north and utility room/larder to the south. Construction of covered swimming pool to the east end of the walled garden to the east of Choseley Farmhouse.	Choseley
02.10.2017	18.12.2017 Application Permitted	17/01845/F	Mr Matthew Cooper Clockcase Barn Clockcase Road Clenchwarton King's Lynn Erection of single story timber-framed garage and storage building.	Clenchwarton

24.11.2017	05.01.2018 Application Permitted	17/02206/F	Mr P Kiley Dunromin 160 Main Road Clenchwarton Norfolk Retrospective approval for extension to existing house	Clenchwarton
04.12.2017	19.01.2018 Application Permitted	17/02280/F	Mr & Mrs Perrin 38 Low Road Congham King's Lynn Norfolk Extensions and alterations, and garage for dwelling	Congham
01.11.2017	21.12.2017 Application Permitted	17/02044/F	Mr & Mrs S Brown The Laurels Main Road Crimplesham King's Lynn Single storey extension on front of dwelling	Crimplesham
05.10.2017	24.01.2018 Application Permitted	17/01870/F	Client of Holt Architectural Pine Cones Caravan And Camping Dersingham Bypass Dersingham Norfolk Removal of condition 14 of planning permission 14/01816/F (Variation of conditions 2 and 3 of planning permission 14/00508/FM: Change of use from redundant picnic area to touring caravan and camping site with associated disabled camping pods, site shop, toilet and amenities block and wardens lodge): To remove the restriction not allowing dogs on site	Dersingham

05.10.2017	24.01.2018 Application Permitted	17/01871/F	Client of Holt Architectural . Pine Cones Caravan And Camping Dersingham Bypass Dersingham Norfolk Removal of Condition 7 attached to planning permission 16/01224/F to allow dogs to be bought onto the site	Dersingham
16.11.2017	05.01.2018 Application Permitted	17/02141/F	Mr & Mrs G Pomfret 10 Heath Road Dersingham King's Lynn Norfolk Extensions and Alterations	Dersingham
17.11.2017	15.01.2018 Application Permitted	17/02149/F	Mr H Williams Crossways Ringstead Road Docking King's Lynn Revised Scheme - Installation of a flue to the north elevation of "Crossways" detached house	Docking
23.11.2017	05.01.2018 Application Permitted	17/02199/F	Mr Graeme Ellisdon The Old Rectory Sedgeford Road Docking King's Lynn Convert part of existing Loft Area into 2 Bedrooms and 1 Bathroom, complete with 5no Dormer Windows and new staircase. Revamp the existing First Floor Layout internally to accommodate new En-Suite facilities	Docking

20.10.2017	18.12.2017 Application Permitted	17/01971/F	Upstream Ltd 47 - 49 Bridge Street Downham Market Norfolk PE38 9DW Variation of Condition 2 of planning permission 16/01723/F to amend the approved drawings	Downham Market
07.11.2017	22.12.2017 Application Permitted	17/02075/F	Mr Jim and James Bilton The Gables 41 Bexwell Road Downham Market Norfolk Proposed dwelling to the rear	Downham Market
08.11.2017	03.01.2018 Application Permitted	17/02090/F	Mr S Cornelius 47 Railway Road Downham Market Norfolk PE38 9DX Demolition of single storey rear extension and construction of a new single storey extension.	Downham Market
09.11.2017	22.12.2017 Application Permitted	17/02101/A	JD Wetherspoons The White Hart 58 Bridge Street Downham Market Norfolk Advertisement application for 2 x externally illuminated fascia signs, 2 x non illuminated fascia signs, 1 x externally illuminated projecting sign and 2 x non-illuminated amenity board	Downham Market

09.11.2017	05.01.2018 Application Permitted	17/02103/LB	JD Wetherspools The White Hart 58 Bridge Street Downham Market Norfolk Listed building application for 2 x externally illuminated fascia signs, 2 x non illuminated fascia signs, 1 x externally illuminated projecting sign and 2 x non-illuminated amenity board	Downham Market
17.11.2017	03.01.2018 Application Permitted	17/02158/F	MLJ Property Development Rose Bank 27 Crow Hall Estate Downham Market Norfolk Construction of replacement bungalow following demolition of existing dwelling (amended design)	Downham Market
12.12.2017	08.01.2018 GPD HH extn - Not Required	17/02340/PAGPD	Mrs Ann Barker 9 Larkspur Close Downham Market Norfolk PE38 9RJ Single storey rear extension which extends beyond the rear wall by 4.65 metres with a maximum height of 3.204 metres and a height of 2.209 metres to the eaves	Downham Market
25.09.2017	05.01.2018 Application Refused	17/01799/F	Mr Tim Quinn 7 Church Road Emneth Wisbech Norfolk The erection of a 3 bedroom house	Emneth

06.10.2017	09.01.2018 Was Lawful	17/01878/LDE	Mr & Mrs Philip & Michelle Leakey Strawberry Fields 28 Mill Road Emneth Norfolk Lawful Development Certificate: To confirm the existing use of the dwelling in breach of condition 2 of planning permission 04/01170 is lawful. The dwelling has not been occupied by persons involved in agriculture or forestry for a period of at least 10 years	Emneth
23.11.2017	12.01.2018 Would be Lawful	17/02200/LDP	Mr Gary Fletcher Dingle Dell 36 Hollycroft Road Emneth Wisbech Application for a lawful development certificate for the proposed installation of a window	Emneth
22.11.2017	16.01.2018 Tree Application - No objection	17/00242/TREECA	S A Brettell The Leys School Road East Rudham King's Lynn T1 Apple - Carry out 30% thin and crown clean, T2 Pear - Carry out 30% thin and crown clean, T3 Apple - Carry out 30% thin and crown clean, T4 Pear - Carry out 10% thin and crown clean, T5 Pear - Remove to 2 inches above soil/grit level, T6 & T7 Prunus - Remove to 2 inches above soil/grit level, T8 Prunus - Coppice to 6 inches above ground level & crown lift	East Rudham

22.09.2017	21.12.2017 Application Permitted	17/01785/F	Mr Mervyn Peake Old Station House Gayton Road East Winch King's Lynn Single storey garden house	East Winch
25.09.2017	22.12.2017 Application Permitted	17/01793/F	Mr Colin Cousins Hill Beck Barn Walton Road East Winch King's Lynn Siting of a mobile home for temporary accommodation of full time carer	East Winch
17.10.2017	05.01.2018 Prior Approval - Approved	17/01955/PACU3	Davison And Co (Barford) Ltd Barn At Game Farm Main Road West Bilney Norfolk Change of use and conversion of barn to residential dwelling	East Winch
23.11.2017	Prior Approval - Approved	17/02202/PACU3	Davison And Co. (Barford) Ltd Magpie Farm Main Road West Bilney King's Lynn Prior Approval: Change of use from Agricultural Building to two Dwelling Houses	East Winch
06.09.2017	12.01.2018 Application Permitted	17/01691/F	Mr T George 24 Addison Close Feltwell Thetford Norfolk New build 2 bedroom bungalow in part of existing garden	Feltwell

24.10.2017	20.12.2017 Application Permitted	17/01992/F	Mrs L Burrows 71 Wilton Road Feltwell Thetford Norfolk Two storey and single storey extension to rear of dwelling	Feltwell
01.11.2017	21.12.2017 Application Permitted	17/02041/F	Mr & Mrs Bird 9 St Nicholas Drive Feltwell Thetford Norfolk Retrospective application for the addition of a pitched roof to an existing garage	Feltwell
17.11.2017	05.01.2018 Application Permitted	17/02155/F	Mr Leonardo De Boovillae 22 St Nicholas Drive Feltwell Thetford Norfolk Erection of extension (Revised Scheme)	Feltwell
27.11.2017	12.01.2018 Application Permitted	17/02212/F	Mr & Mrs D Cornwell 20 St Nicholas Drive Feltwell Thetford Norfolk Proposed extension	Feltwell
04.12.2017	02.01.2018 GPD HH extn - Not Required	17/02291/PAGPD	Mr J Wakefield Field House 17 Lodge Road Feltwell Thetford Single storey rear extension which extends beyond the rear wall by 7 metres with a maximum height of 3.8 metres and a height of 2.275 metres to the eaves	Feltwell

17.11.2017	21.12.2017 Tree Application - No objection	17/00236/TREECA	Fincham Parish Council Memorial Hall High Street Fincham King's Lynn T1 Silver Birch - Remove dead tree within a conservation area	Fincham
24.07.2017	19.01.2018 Application Permitted	17/01417/F	Mr Alan Bedwell Orchard Farm Lynn Road Gayton King's Lynn Garage extension, minor external and internal alterations to dwelling and installation of air source heat pump	Gayton
10.11.2017	21.12.2017 Application Permitted	17/02111/F	Mr Coker 6 Grimston Road Gayton King's Lynn Norfolk Internal alterations and a rear extension	Gayton
16.11.2017	11.01.2018 Application Permitted	17/02140/F	Limes House Developments Ltd Jubilee Farm Jubilee Hall Lane Gayton King's Lynn Variation of conditions 5, 6, 7, 8, 10, 11 and 12 of planning permission 15/02130/O (Outline application: construction of three dwellings) - To vary previously approved drawings and to vary the wording as described in the submitted statement	Gayton

22.11.2017	16.01.2018 Application Permitted	17/02190/LB	Mr Alan Bedwell Orchard Farm Lynn Road Gayton King's Lynn External and internal alterations to dwelling, garage extension and installation of air source heat pump	Gayton
27.11.2017	22.12.2017 Application Permitted	16/02163/NMA_1	Freebridge Community Housing Rampant Horse Cottage Lynn Road Gayton Norfolk Non-material amendment to planning permission 16/02163/F: REMOVAL OR VARIATION OF CONDITIONS 2, 5, 6, 7 AND 8 OF PERMISSION 15/01264/F: Change of use from former public house to four residential dwellings and associated works	Gayton
29.08.2017	10.01.2018 Application Permitted	17/01635/F	Mrs Theresa George Lime Barn 31 Leziate Drove Pott Row King's Lynn Conversion and extension of former agricultural building to form one bedroom holiday let	Grimston
24.10.2017	19.12.2017 Application Permitted	17/01995/RM	Buck Estates Ltd The Retreat 29 Lynn Road Grimston King's Lynn Amended scheme to that previously approved under 17/00619/RM - Access, appearance, landscaping, layout, scale.	Grimston

09.11.2017	21.12.2017 Application Permitted	17/02100/F	Mr & Mrs Steve & Anne Winder Pond Cottage 10 Back Street Harpley King's Lynn Demolition of existing Conservatory, Office, Utility and Shower Room. Construction of single storey Extension comprising Bedroom, Garden Room, Shower Room, WC and alterations to existing Kitchen.	Harpley
27.11.2017	17.01.2018 Application Permitted	17/02231/F	Mr B Hart & Ms N Chambers 20 St Lawrence Close Harpley King's Lynn Norfolk Proposed kitchen and bedroom two storey extension	Harpley
23.10.2017	22.12.2017 Prior Approval - Refused	17/01989/PACU6	C/o Agent 29 High Street Heacham King's Lynn Norfolk Notification for Prior Approval for a change of use from shop (A1) to gym (D2)	Heacham
01.11.2017	19.01.2018 Application Permitted	17/02042/F	Mr & Mrs P White Lauretta 50 North Beach Heacham King's Lynn Proposed external alterations	Heacham
14.11.2017	12.01.2018 TPO Work Approved	17/00107/TPO	Client of Arborcraft 4 Lynn Road Heacham King's Lynn Norfolk 2/TPO/00132 - T1 - Beech: Fell	Heacham

14.11.2017	21.12.2017 Tree Application - No objection	17/00227/TREECA	Mr Joyce Mill House Ringstead Road Heacham King's Lynn T1 Ash - Fell as has lost several limbs in storm, then replant within a conservation area	Heacham
21.11.2017	17.01.2018 Application Permitted	17/02179/F	Dodson & Horrell Developments (Holdings) Limited 48 North Beach Heacham King's Lynn Norfolk Construction of replacement dwelling following the removal of existing bungalow	Heacham
27.11.2017	19.01.2018 Application Permitted	17/02219/F	Mr Mark Jutsum Cough Cottage 4 Kings Gardens Heacham Norfolk Single storey front extension	Heacham
06.12.2017	19.01.2018 Application Permitted	17/02298/F	Mr David Butters 6 Sea Close Heacham King's Lynn Norfolk Proposed detached garage	Heacham
06.12.2017	17.01.2018 Application Permitted	17/02300/F	Ms J Clarke 41 Hunstanton Road Heacham King's Lynn Norfolk First floor extension following removal of existing roof structure	Heacham

28.11.2017	17.01.2018 Application Permitted	17/02240/F	Mr H Porter Plot 5 Southwest of Janberra Station Road Ten Mile Bank Construction of one dwelling & garage	Hilgay
14.12.2017	22.01.2018 Application Permitted	17/02350/F	Mr D Langley Lodge Farm Meadow Caravan And Camping Ely Road Hilgay Norfolk Change of use of land to erect 2no Static Caravans For Holiday Lets, 5no Additional Touring Caravan Pitches and 1no Static Caravan For Use As Managers Office	Hilgay
16.08.2017	21.12.2017 Application Permitted	17/01571/F	Mr B J Rutterford Blackdyke Farm Black Dyke Road Hockwold cum Wilton Norfolk Retrospective planning permission for the permanent retention of the water bailiff's dwelling, fishing club facilities including office and welfare facilities with part of the building being used for yoga classes and use of surrounding land for amenity purposes	Hockwold cum Wilton
25.10.2017	20.12.2017 Application Refused	17/02010/F	Mr David Brabon The Bungalow Cowles Drove Hockwold cum Wilton Norfolk Removal of condition 4 of planning permission 2/79/2828/O - To remove occupancy restriction	Hockwold cum Wilton

20.11.2017	12.01.2018 Application Permitted	17/02170/F	Mr & Mrs Moss 3 Lode Cottages Church Lane Hockwold cum Wilton Norfolk Single storey rear extension and conservatory	Hockwold cum Wilton
25.09.2017	05.01.2018 Application Permitted	17/01788/F	Mr Robert Warwicker Beach Side Broadwater Road Holme next The Sea Norfolk Demolition of existing outbuilding and replacement with garden room.	Holme next the Sea
22.11.2017	11.01.2018 Application Permitted	17/02188/F	CJ Ashmore Properties Ltd High Road Farm Bungalow Thornham Road Holme next The Sea Norfolk Replacement dwelling house	Holme next the Sea
30.10.2017	19.12.2017 Application Permitted	17/02023/F	A Pojar 13 Peddars Drive Hunstanton Norfolk PE36 6HF Single storey rear extension, proposed porch to the front and a detached single storey garden store/study.	Hunstanton
23.01.2017	15.01.2018 Application Permitted	17/00088/RMM	The Norfolk Building Co. Land N 130 Lynn Road And E 147 Lynn Road Lynn Road Ingoldisthorpe Norfolk Reserved Matters Application: Residential development of 15 houses	Ingoldisthorpe

13.11.2017	04.01.2018 Application Permitted	17/02119/F	Mr & Mrs J Clark Eastlands 157 Lynn Road Ingoldisthorpe King's Lynn Two storey Extension to rear of existing dwelling.	Ingoldisthorpe
27.06.2017	15.01.2018 Application Permitted	17/01226/A	TUI UK Limited Thomson 78 High Street King's Lynn Norfolk Advertisement Application: 2 off sets Non illuminated Acrylic logos and 1 off non illuminated projecting sign	King's Lynn
20.09.2017	22.12.2017 Application Permitted	17/01768/F	Freebridge Community Housing Site On Millfleet King's Lynn Norfolk New community cafe to replace the existing one at Hillington Square with 3 new apartments to be located above	King's Lynn
25.09.2017	18.12.2017 Application Permitted	17/01797/F	Bank of Ireland W H Smith And Post Office 7 Norfolk Street King's Lynn Norfolk Installation of Bank Of Ireland ATM backing into a POD	King's Lynn
10.10.2017	08.01.2018 Application Permitted	17/01895/A	Mr Simon Hunt 71 - 72 Norfolk Street King's Lynn Norfolk PE30 1AD Advertisement Application: 3x non-illuminated fascia signs	King's Lynn

13.10.2017	22.12.2017 Application Permitted	17/01917/A	Eurochange Ltd Vacant 14 New Conduit Street King's Lynn Norfolk Advertisement application: 1 x externally mounted, internally illuminated, fascia sign and 1 x externally mounted, internally illuminated projecting sign.	King's Lynn
17.10.2017	21.12.2017 Application Permitted	17/01941/F	Mr & Mrs J. Cooper 146 Wootton Road Gaywood King's Lynn Norfolk Construction of single storey flat roof extension to chalet bungalow	King's Lynn
18.10.2017	22.12.2017 Application Permitted	17/01946/F	Mr Tristan Denton 40 Holcombe Avenue King's Lynn Norfolk PE30 5NY Loft conversion with side extension forming garage/workshop	King's Lynn
19.10.2017	22.12.2017 Application Permitted	17/01956/F	Notemachine Uk Ltd Johnsons 14 New Conduit Street King's Lynn Norfolk The proposed installation of an ATM to be installed through the existing glazing to the left hand side of the front elevation as a through glass installation.	King's Lynn

19.10.2017	22.12.2017 Application Permitted	17/01957/A	Notemachine Uk Ltd Johnsons 14 New Conduit Street King's Lynn Norfolk Integral illumination and screen to the ATM fascia Internally illuminated Free Cash Withdrawals sign above the ATM fascia Blue LED halo illumination to the ATM surround	King's Lynn
23.10.2017	22.12.2017 Application Refused	17/01988/F	Mrs Binita Desai 3 Cedar Row Wootton Road King's Lynn Norfolk Erection of front and side boundary walls (retrospective)	King's Lynn
25.10.2017	22.12.2017 Application Permitted	17/02017/F	Sandom Interiors Vacant 14 New Conduit Street King's Lynn Norfolk To alter/change existing shop front	King's Lynn
08.11.2017	04.01.2018 Application Permitted	17/02085/F	Travis Perkins PLC Wickes DIY Store Unit 6 St Nicholas Retail Park Edward Benefer Way 2 New showroom windows and 1 new Covered Trolley Park	King's Lynn

10.11.2017	22.01.2018 Application Permitted	17/02105/F	Fishing Republic Unit 19 St Hilary Park Road King's Lynn Norfolk Variation of Condition 1 attached to Planning Permission 16/01223/F.	King's Lynn
10.11.2017	23.01.2018 Application Permitted	17/02106/F	Fishing Republic Unit 19 St Hilary Park Road King's Lynn Norfolk Retrospective planning approval for a mezzanine floor	King's Lynn
13.11.2017	22.12.2017 Application Permitted	17/02123/F	Ms Cheryl Phillips 2 Purfleet Place King's Lynn Norfolk PE30 1JH Retrospective application for windows already installed to rear of property	King's Lynn
13.11.2017	04.01.2018 Application Permitted	17/02124/LB	Ms Cheryl Phillips 2 Purfleet Place King's Lynn Norfolk PE30 1JH Listed Building Application: Retrospective application for windows already installed to rear of property	King's Lynn
15.11.2017	05.01.2018 Application Permitted	17/02135/F	Mr T Israel 21 Edinburgh Avenue Gaywood King's Lynn Norfolk 2 storey extension to existing dwelling	King's Lynn

17.11.2017	18.01.2018 Application Permitted	17/02153/F	TBM Developers Ltd Plot N of 7 Victoria Terrace Bankside West Lynn King's Lynn Variation of condition 2 and removal of condition 10 of planning permission 15/01342/F (Erection of 7 residential dwellings upon the site, together with associated access (including vehicular access to No 128), parking areas, residential curtilages and landscaping): to amend previously approved drawings	King's Lynn
17.11.2017	12.01.2018 Application Permitted	17/02159/F	Mr & Mrs Johnathan & Valerie Waterfield 8A Albion Street King's Lynn Norfolk PE30 1NJ Change of use from storage to car service station/workshop, including minor alterations to the principle entrance (retrospective)	King's Lynn
20.11.2017	05.01.2018 Application Permitted	17/02164/F	Miss Rhiana Bedford 53 London Road King's Lynn Norfolk PE30 5QH Retrospective application for the installation of a TTG ATM (24hr usage)	King's Lynn

21.11.2017	18.01.2018 Application Permitted	17/02173/LB	Mr Kenneth Hill Flat B 4 Kings Staithe Square King's Lynn Norfolk Installation of a handbasin and WC cloakroom in a first floor stairwell	King's Lynn
21.11.2017	15.01.2018 Application Permitted	17/02185/CU	Mr R Thomas 105A Norfolk Street King's Lynn Norfolk PE30 1AQ Change of use from storage (B8) to a retail shop (A1)	King's Lynn
21.11.2017	22.01.2018 Application Permitted	17/02191/LB	P D J Management Ltd Majestic Cinema Tower Street King's Lynn Norfolk Listed Building Application: Extension to the existing cinema to provide additional screen and internal alterations to include division of main auditorium to provide small auditorium to rear of existing space	King's Lynn
23.11.2017	22.01.2018 Application Permitted	17/02198/A	Baron St Nicholas Retail Park Edward Benefer Way King's Lynn Norfolk Advertisement application for 4 x fascia signs (2 illuminated, 2 non- illuminated) and 5 x other signs (all non-illuminated)	King's Lynn

30.11.2017	21.12.2017 Tree Application - No objection	17/00247/TREECA	Jack In The Green Garden Services 23A Queen Street King's Lynn Norfolk PE30 1HT Reduce height of Silver Birch by approx 8ft. Remove small conifer tree. Maximum 20% crown balance of a Pissard Plum tree located in rear garden of Clifton House	King's Lynn
01.12.2017	19.01.2018 Application Permitted	17/02262/F	Mr & Mrs B Davidson 1 Castle Close King's Lynn Norfolk PE30 3EP Conversion of garage with new pitched roof	King's Lynn
04.12.2017	12.01.2018 Application Permitted	17/02274/F	Mr & Mrs Smith 20 St Peters Road West Lynn King's Lynn Norfolk Retrospective Planning Permission for existing single storey extensions	King's Lynn
05.12.2017	17.01.2018 Application Permitted	17/02286/F	Mr A Thompson 8 Suffolk Road King's Lynn Norfolk PE30 4AJ Extension and alterations to dwelling	King's Lynn

15.12.2017	15.01.2018 DM Notification Required Prior NOT	17/02363/DM	Associated British Ports Sheds 22 A, B & C Associated British Ports Bentinck Dock King's Lynn Prior Notification for the demolition of three storage sheds	King's Lynn
15.01.2018	24.01.2018 Application not required	18/00087/F	Ms Samantha Scott 39 Middlewood King's Lynn Norfolk PE30 4RT Replace existing windows as per attached drawing and change from single to double glazing throughout. Install double french doors at the rear of the property. Install additional window upstairs at the front of the property and change sizes of windows Install additional window in the outhouse at the back of the property. Replacement of PVC doors at the front of the property. Relocation of existing rear door and replacement with PVC door Removal of PVC cladding on the front of the property. Rendering to the front and back of the property.	King's Lynn
19.10.2017	15.01.2018 Application Permitted	17/01960/F	Mr Gilboy Westview 215 Leziate Drove Ashwicken Norfolk Extension to existing bungalow, new garage with Annexe over	Leziate

06.11.2017	19.01.2018 Application Permitted	17/02067/F	Client of Matt Gosling Architectural Design Hadleigh Farmhouse Hadleigh Farm 43 Well Hall Lane Ashwicken Construction of swimming pool enclosure and changing facilities	Leziate
13.11.2017	12.01.2018 Application Permitted	17/02114/F	Mr & Mrs R Payne Mandalay The Street Marham Norfolk Single Storey rear extension including En-Suite, Laundry Room and Office.	Marham
28.09.2017	05.01.2018 Application Permitted	17/01823/F	Costdesign 2 Ltd Old Chapel Middle Drove Marshland St James Norfolk Conversion of Office/Commercial Space to Residential	Marshland St James
31.10.2017	21.12.2017 Application Permitted	17/02034/RM	Mr L Wabe Land South of 26 Smeeth Road Marshland St James Wisbech Norfolk Reserved Matters Application for one dwelling	Marshland St James
28.11.2017	12.01.2018 Application Permitted	17/02237/F	Marshland Parish Council Playing Field Smeeth Road Marshland St James Norfolk Proposed storage containers and retention of associated groundworks to Marshland St James Community Centre	Marshland St James

01.09.2017	05.01.2018 Application Refused	17/01657/F	Holmebrink Construction Ltd 27 Feltwell Road Methwold Hythe Thetford Norfolk Residential Development (4 New Houses)	Methwold
14.11.2017	09.01.2018 Application Refused	17/02125/O	Mr Paul Martindale Gwennie Villa 2 Scotts Lane Brookville Thetford Outline Application for proposed residential development	Methwold
23.10.2017	20.12.2017 Would be Lawful	17/01982/LDP	Mrs Paula Pearson Bardells Dairy Sandy Lane Blackborough End King's Lynn Lawful Development Certificate: Erection of rear single storey extension	Middleton
13.11.2017	18.12.2017 Application Permitted	17/02121/F	Ms C Scotney 87 Walter Howes Crescent Middleton King's Lynn Norfolk Conversion of existing double garage to annex	Middleton
27.11.2017	16.01.2018 Application Permitted	17/02226/RM	Mr & Mrs S Cazot Manor Farm House Hill Road Middleton King's Lynn Reserved Matters Application for the construction of two dwellings	Middleton

21.12.2017	17.01.2018 Consent Required	Not	17/02397/AG	J & HM Robinson Site Off Green Lane Crossways Farm North Creake AGRICULTURAL PRIOR NOTIFICATION: Proposed agricultural storage/workshop building	North Creake
26.09.2017	21.12.2017 Application Permitted		17/01805/F	Mr P Yallop King's Lynn Caravan And Camping Park Parkside House New Road North Runcton Variation of condition 5 of planning permission 12/00628/F: To allow 11 months occupancy between Feb 1st and January the 3rd with 28 days closure in any year.	North Runcton
24.10.2017	21.12.2017 Application Permitted		17/02012/F	Mrs Karen Agnew-Griffith The Laurels 3 High Street Northwold Norfolk Variation of Condition 2 attached to planning permission 17/01282/F to vary the dimensions of the extension	Northwold
01.12.2017	16.01.2018 Application Permitted		17/02260/F	Big K Charcoal Merchants Ltd Big K Charcoal Merchants Whittington Hill Whittington King's Lynn Erection of single and two-storey office extension and overbuild to existing single-storey office block	Northwold

07.12.2017	16.01.2018 Application Permitted	17/02310/F	Mr Gary Webb The Barns Methwold Road Whittington Norfolk Construction of general purpose agricultural building (re-submission of 17/00061/F)	Northwold
20.10.2017	19.12.2017 Application Permitted	17/01966/F	Mr Mark Draper Land Off Priory Road North Wootton Norfolk VARIATION OF CONDITION 2 OF PLANNING PERMISSION 16/00987/F: Demolition of 4 existing residential properties and development of the site to provide 9 residential units with associated landscaping and highways works	North Wootton
27.11.2017	05.01.2018 Application Permitted	17/02215/F	Mr D Lloyd The Bothy 13 Hamilton Road Old Hunstanton Norfolk Construction of a two storey side extension.	Old Hunstanton
06.11.2017	21.12.2017 Application Permitted	17/02069/RM	Fountain Construction (Anglia) Ltd Plot To The North West Of Trevordale Pius Drove Upwell Reserved Matter Application for proposed dwelling and garage	Outwell

21.11.2017	05.01.2018 Application Permitted	17/02178/F	Mr & Mrs S Davidson Willows Well Creek Road Outwell Norfolk Extension and alterations to dwelling	Outwell
24.11.2017	12.01.2018 Application Permitted	17/02230/RM	Mr & Mrs N Giddings Plot 3 Land NE of Magnolia Lodge Hall Road Outwell Wisbech RESERVED MATTERS: Erection of one dwelling	Outwell
08.12.2017	09.01.2018 Application Permitted	17/02315/RM	Mr & Mrs J Watts North of Kirton House Langhorns Lane Outwell Wisbech Erection of dwelling	Outwell
31.10.2017	22.12.2017 Application Permitted	17/02029/RM	Mr P Thomson & Ms T Kaye Plot 1 Narborough Road Pentney Norfolk Reserved Matters Application: Construction of one single dwelling	Pentney
13.11.2017	08.01.2018 Application Permitted	17/02120/F	Howlett Farming Company Little Abbey Farm Golden Gym Pentney Norfolk Retention of existing cattle shed & proposed extension.	Pentney

14.12.2017	03.01.2018 DM Notification Required Prior NOT	17/02352/DM	Roger Vail Pentney Park Caravan And Camping Site Main Road Kindg's Lynn Norfolk Demolition of all existing buildings in preparation for redevelopment of existing caravan park	Pentney
29.09.2017	03.01.2018 Application Permitted	17/01834/F	Miss Joanna Rockcliffe The Old Meeting Place Runcton Bottom Runcton Road Shouldham Thorpe Conversion of building including adaptions and extension	Runcton Holme
16.08.2017	12.01.2018 Application Permitted	17/01570/FM	Sandringham Estate Pooley's Wood Sandringham Estate King's Lynn Norfolk Demolition of existing farm buildings and erection of new grain store building	Sandringham
16.11.2017	11.01.2018 Application Permitted	17/02139/F	Norfolk Free Range Limited Norfolk Free Range Fring Site Unnamed Road Near Fring Erection of three (3) livestock feed silos on new concrete pad, to provide food for livestock	Sedgeford

23.10.2017	20.12.2017 Application Permitted	17/02003/F	Mr & Mrs C & S Jones Brook Farm 34 Lynn Road Shouldham King's Lynn Conversion of garage to form additional residential accommodation to dwelling	Shouldham
28.11.2017	15.01.2018 Application Permitted	17/02241/CU	Mr & Mrs S Carter Field Barn Marham Road Shouldham Norfolk Proposed Change of Use to Garden and Paddock	Shouldham
20.10.2017	18.12.2017 Application Permitted	17/01965/F	C/o Agent Cruso & Wilkin Auction Centre 32 Common Road Snettisham King's Lynn Demolition of part of auction centre, lean to extension, internal alterations and provision of an extended car park for 84 spaces	Snettisham
13.11.2017	05.01.2018 Application Permitted	17/02116/F	Bates Environmental Ltd Little Oaks 13A Beach Road Snettisham King's Lynn Installation of new sewage treatment plant and filling in of existing system	Snettisham

02.11.2017	21.12.2017 TPO Approved Work	17/00102/TPO	Mr Stephen Chesney-Beales 12 Pretoria Grove South Wootton King's Lynn Norfolk 2/TPO/00428: T1 Beech - Reduce selected branches within upper crown and raise or lift the crown by removing selected and suitable secondary low lateral branches to achieve a crown height above ground level. T2 Sycamore (Norway Maple) - Exempt: Clean out crown by removing deadwood and undertake suitable branch reductions to reshape crown of tree. All works to comply with BS 3998:2010	South Wootton
02.11.2017	21.12.2017 Application Permitted	17/02046/F	Mr P Sharp Willow Lodge 23 St Marys Close South Wootton King's Lynn Single storey side extension	South Wootton
09.11.2017	04.01.2018 Application Permitted	17/02098/F	Dr Smita Gunda 18 The Birches South Wootton King's Lynn Norfolk Proposed single storey rear and side extension to existing dwelling	South Wootton
17.11.2017	19.01.2018 Application Permitted	17/02151/F	Mr C & Mrs J Abbs 3 The Meadows South Wootton King's Lynn Norfolk Construction of dwelling and attached garage	South Wootton

27.11.2017	11.01.2018 Application Permitted	17/02214/F	Mr & Mrs K Ash 7 Bramble Drive South Wootton King's Lynn Norfolk Proposed extension to dwelling	South Wootton
27.11.2017	22.01.2018 Application Permitted	17/02224/F	Mr & Mrs P Woodhouse 3 The Birches South Wootton King's Lynn Norfolk Extensions and alterations (revised design)	South Wootton
07.11.2017	21.12.2017 Application Permitted	17/02077/F	J W Sargeant J W Sargeant Butchers Stow Corner The Causeway Stow Bridge Extension to premises	Stow Bardolph
08.11.2017	22.12.2017 Application Permitted	17/02083/F	Mr & Mrs D Lewis Ashburn 13 The Drove Barroway Drove Norfolk Single and two storey extensions to existing dwelling	Stow Bardolph
28.11.2017	23.01.2018 Application Permitted	17/02242/F	Mr & Mrs G Martin Hedgehog Cottage 38 The Drove Barroway Drove Norfolk Front two storey and rear single storey extensions to dwelling	Stow Bardolph

05.12.2017	16.01.2018 Application Permitted	17/02281/F	Mr & Mrs Anderson Antlers The Causeway Stow Bridge King's Lynn Single storey extension to dwelling and installation of solar panels and sunpipe	Stow Bardolph
25.10.2017	17.01.2018 Application Permitted	17/02011/CU	Mr C Cunningham Barn Conversion 93A Station Road Terrington St Clement Norfolk Continued use of agricultural workshop for class B2 use	Terrington St Clement
02.11.2017	18.01.2018 Application Permitted	17/02051/F	Ms Lauren Burrison 72 Marsh Road Terrington St Clement King's Lynn Norfolk Proposed two storey side extension and a rear single storey extension to form new master bedroom, lounge and utility area	Terrington St Clement
21.11.2017	05.01.2018 Application Permitted	17/02187/F	Mr & Mrs Mark Culey 50 Hillgate Street Terrington St Clement King's Lynn Norfolk Sun Room Extension	Terrington St Clement
05.12.2017	05.01.2018 Application Permitted	17/02292/F	Mr & Mrs Youngs 18 Lynn Road Terrington St Clement King's Lynn Norfolk Extension to rear of dwelling	Terrington St Clement

14.12.2017	18.01.2018 Application Permitted	17/02353/F	Mr S Britton 18 Long Road Terrington St Clement King's Lynn Norfolk Single storey rear extension, link and construction of Chalet Annex	Terrington St Clement
08.11.2017	21.12.2017 Application Permitted	17/02089/F	C/o Agent Land S of Cowslip Barn And W of Marcroft School Road Terrington St John Norfolk Variation of condition 5 of planning permission 15/01660/O to revise drainage layout	Terrington St John
24.10.2017	19.12.2017 Application Permitted	17/01994/O	Mr & Mrs D. White Quavers High Street Thornham Hunstanton Demolition of existing dwelling and garage and construction of 2 new detached dwellings.	Thornham
20.11.2017	21.12.2017 Tree Application - No objection	17/00238/TREECA	Mr Cooke Ashdale Church Street Thornham Hunstanton Tree in a Conservation Area: Removal of one Eucalyptus Tree in rear garden	Thornham
27.11.2017	24.01.2018 Application Permitted	17/02221/F	Mr & Mrs D Painter Lavender Cottage High Street Thornham Hunstanton Rear extensions and roof alterations (revised design)	Thornham

05.12.2017	16.01.2018 Tree Application - No objection	17/00249/TREECA	C/o Agent Holm Oak House Church Street Thornham Norfolk T1 Horse Chestnut - Crown raise to 4 meters and reduce canopy overhanging neighbouring property by 4 meters. Thin lower crown by 10-20%, removing crossed/surpressed branches. T2 Sweet Chestnut - Fell as dead/dying. T3 Oak - Crown raise to 4 meters. T4 and T5 Holm Oak - Crown raise to 4 meters. T6 Ash - Fell as in severe decline, probable ash dieback. T7 and T8 Holm Oak - Both severely unbalanced, crown raise to 4 meters and rebalance crown	Thornham
07.12.2017	15.01.2018 Application Permitted	17/02305/F	Mr David Bennett Parish Cottage Shepherds gate Road Tilney All Saints King's Lynn Single storey extension to rear of cottage	Tilney All Saints
05.10.2017	21.12.2017 Application Permitted	17/01869/RM	BCKLWN Land North of 89 High Road Tilney cum Islington Norfolk Reserved Matters Application for proposed semi-detached houses	Tilney St Lawrence

20.10.2017	20.12.2017 Application Permitted	17/01968/F	Broadland Housing Group 93 And 95 High Road Tilney cum Islington Norfolk PE34 3BL Installation of a sewage treatment plant with a 1.8m high close boarded timber fence to enclose the treatment plant. Alterations to the surface rainwater drains are also to be undertaken as part of these works.	Tilney St Lawrence
24.10.2017	24.01.2018 TPO Work Approved	17/00096/TPO	Ms Diana Widdows Islington Hall Islington Green Tilney All Saints King's Lynn 2/TPO/00212 - 1 willow: fell. 4 sycamores: fell and replace all 4 with another tree (ash or acer). 1 sycamore: fell. Elders: fell. 1 yew: remove dead branches and top branches to balance tree	Tilney St Lawrence
01.11.2017	23.01.2018 Application Permitted	17/02037/F	Ms Diana Widdows Islington Hall Islington Green Tilney All Saints King's Lynn To convert part (less than half) of the single current house into a self-contained holiday rental house, while retaining the ability to use the whole as a single house from time to time	Tilney St Lawrence

02.11.2017	22.12.2017 Application Permitted	17/02053/CU	Mr Peter Dorling Agricultural Building Baptist Road Upwell Norfolk Retrospective approval for the change of use of an agricultural building to a commercial premises for storage	Upwell
02.11.2017	20.12.2017 Application Permitted	17/02055/RM	Mr Thomas & Miss Fitzpatrick Plot 9 Orchard Gardens Upwell Norfolk Reserved Matters Application: Proposed dwelling	Upwell
08.11.2017	20.12.2017 TPO Served	17/00223/TREECA	Mr Kevin Neve 64 St Peters Road Upwell Norfolk PE14 9EJ T1 Ash - Remove because of damage being caused to driveway and sewage from roots, T2 Beech - Remove because of damage being caused to driveway and sewage from roots	Upwell
02.10.2017	22.12.2017 Application Permitted	17/01846/RM	Mr D Wing Land North of Churchfield House Eastlands Bank Walpole St Andrew Wisbech RESERVED MATTERS: Construction of 4 dwellings	Walpole

09.11.2017	21.12.2017 Application Permitted	17/02097/CU	Mrs Prosser Workshop Desford Lodge Church Road Walpole St Peter Continued use of an existing brick and tile, one-storey building for domestic storage	Walpole
29.11.2017	15.01.2018 Application Permitted	17/02247/F	Mr C Monney Two Jays Church Road Walpole St Peter Norfolk Proposed front and rear extensions to bungalow internal alterations and conversion of garage to utility room, boot room and shower room	Walpole
05.12.2017	22.01.2018 Application Permitted	17/02287/F	Mr & Mrs Puttock Orchard View Walnut Road Walpole St Peter Norfolk Single storey rear extension to dwelling	Walpole
12.10.2017	20.12.2017 Application Permitted	17/01911/F	Mr S Gentile Barwin Waterlees Road Walsoken Wisbech 5 bed dwelling house and garage, existing house to be demolished	Walsoken

15.12.2017	12.01.2018 Application Permitted	17/01549/NMA_1	Mr □ Mrs I Towler Barn Rear of 7 Orchard House Burrett Road Walsoken Wisbech NON-MATERIAL AMENDMENT TO PLANNING CONSENT 17/01549/F: Demolition of agricultural building and construction of new dwelling	Walsoken
30.11.2017	18.01.2018 Application Permitted	17/02252/F	Mr Simon Pollack The Chestnuts Wisbech Road Tipps End Welney Creation of a lunge ring	Welney
25.10.2017	20.12.2017 Application Permitted	17/02004/O	Mr Clarke Land West of 138 School Road West Walton Wisbech Norfolk Outline Application: construction of a dwelling	West Walton
30.10.2017	03.01.2018 Application Permitted	17/02025/F	Mrs Bagnall Beth Car Cottage 1 Church Road Wimbotsham King's Lynn Demolition of existing single storey extension and construction of 2 storey extension	Wimbotsham
07.12.2017	09.01.2018 Application Permitted	17/02303/F	Mr & Mrs M Pierce Kirkwall 67 Church Road Wimbotsham King's Lynn Extension to rear of dwelling (revised design from that previously approved)	Wimbotsham

13.10.2017	05.01.2018 Application Permitted	17/01916/F	Alfred G Pearce Limited Middle Farm Castle Road Wormegay King's Lynn Erection of cold store and staff facilities buildings	Wormegay
23.10.2017	20.12.2017 Application Permitted	17/01986/F	Mr & Mrs Tunley Davlyn Castle Road Wormegay King's Lynn Single storey extension to rear, internal alterations and decking.	Wormegay
24.10.2017	18.12.2017 Application Permitted	17/01990/O	Mr C. Perkins Land East of High View Castle Road Wormegay Norfolk OUTLINE APPLICATION: Proposed Dwelling House	Wormegay
30.10.2017	09.01.2018 Prior Approval - Approved	17/02026/PACU1	Mr Tony Priest Eastern Packaging Ltd The Granary Low Road Wretton Prior Notification: Change of use from office to dwellinghouse	Wretton
24.11.2017	22.12.2017 Application not required	17/00087/NMA_1	Robertson Homes Ltd Pond And Land SW of Church Farm Low Road Wretton Norfolk Non-material amendment to planning permission 17/00087/RM: Reserved Matters Application: Construction of three dwellings and garages	Wretton

20.10.2017	20.12.2017 Application Permitted	17/01969/F	Cool-Stak Coolstak Lynn Road West Winch King's Lynn Retention of a single storey canopy ancillary to existing operations	West Winch
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5 FEBRUARY 2018

PLANNING COMMITTEE

**PLANNING ENFORCEMENT SERVICE
- QUARTERLY REPORT-**

1.0 PURPOSE OF REPORT

1.1 This report provides Members with an update on service performance for planning enforcement during the fourth quarter of 2018.

2.0 PLANNING ENFORCEMENT SERVICE PERFORMANCE

2.1 Set out below is a breakdown of figures in relation to received, closed and live cases.

The total number of live cases is	213
Number of cases received inc high hedge	100
Total number of cases closed	85

2.2 A list of all live cases to **23rd January 2018** can be found at Appendix 1.

2.3 Below is a breakdown of all **85** cases closed during the second quarter, including the reason for closure.

Reason	Count
Advertisement Consent Granted	0
Amendment Approved	0
Case Closed	3
Conditions Discharged	4
De minimis	0
Delegated Authority - no further action	7
Listed Building Consent granted	0
No breach established	27
Notice issued - complied	4
Permitted development	8
Planning App Approved	18

Prosecution	0
Referred to other service	3
Simple Caution	0
Remedied following informal action	11
Use/operational development lawful	0
Default action taken under s219	0
Total	85

2.4 During the third quarter the following formal notices were served:

Notice	Count
Enforcement Notice	5
Listed Building Enforcement Notice	1
Planning Contravention Notice	7
Requisition for Information	0
Breach of Condition Notice	7
Stop Notice (excluding Temporary Stop Notice)	0
Temporary Stop Notice	1
Enforcement Injunction granted	1
Section 215 Notice	0
Repairs Notice	0
High Hedge Remedial Notice	0
Tree Replacement Notice	0
Total	22

2.5 Aside from the usual range of notices served, in the last quarter Members may wish to note that a Temporary Stop Notice was served by the Council on land in Outwell due to the unauthorised stationing of residential caravans and the laying of hardcore/aggregate on land in the countryside. This was subsequently supported by the granting of a High Court Injunction prohibiting this activity from taking place without the benefit of planning permission.

3.0 RECOMMENDATION

3.1 That this report is noted.

Contact: Mr Clarey, Planning Enforcement Team Leader – 01553 616770

Parish	Date	Reference	Site	Breach	Status
Barton Bendish	15-Sep-17	17/00400/UNAUTU	The Office Lilac Farm Stoke Ferry Road Eastmoor Barton Bendish Norfolk PE33 9QA PE33 9QA	Alleged Unauthorised Use	Pending Consideration
Bircham	01-Oct-10	10/00453/BOC	Moor Farm Barn Docking Road Great Bircham Norfolk PE31 6QP	Alleged breach of condition 5 of planning permission 2/03/1638/CU	Notice Issued
Bircham	24-Jan-11	11/00053/BOC	Moor Farm Barn Docking Road Great Bircham Norfolk PE31 6QP	Alleged Failure to discharge conditions prior to occupation - 08/01529/F	Notice Issued
Bircham	11-Jan-16	16/00011/UNAUTU	Land W of Polish Plantation S of CITB And E of Stanhoe Road Bircham Newton Norfolk	alleged unauthorised use - scrap metal dumping and motor bike nuisance	Notice Issued
Boughton	14-Nov-17	17/00496/UNOPDE	The Bungalow Mill Hill Road Boughton King's Lynn Norfolk PE33 9AE	Alleged unauthorised operational development	Pending Consideration
Brancaster	14-Sep-17	17/00398/UNAUTU	Mayflower Butchers Lane Brancaster Norfolk PE31 8AT	Alleged unauthorised use	Pending Consideration
Brancaster	29-Sep-17	17/00421/UNOPDE	11 The Cricket Pasture Burnham Deepdale Norfolk PE31 8DQ	Alleged Unauthorised development	Pending Consideration
Burnham Market	07-Jul-17	17/00296/UNAUTU	Stable Cottage 52 Market Place Burnham Market Norfolk PE31 8HD	Alleged unauthorised use	Pending Consideration
Burnham Market	13-Nov-17	17/00491/UNOPDE	Land North of No.TWENTY 9 29 Market Place Burnham Market Norfolk PE31 8HF	Alleged unauthorised development	Pending Consideration
Burnham Market	03-Jan-18	18/00002/UNAUTU	Corner House Boutique Salon 3 Ulph Place Burnham Market Norfolk PE31 8HQ	Alleged unauthorised use	Pending Consideration
Castle Rising	11-May-17	17/00198/UADV	Mondao Circus Land Adjacent Knights Hill Farm Shop Grimston Road South Wootton Norfolk PE30 3PD	alleged unauthorised adverts for Circus	Pending Consideration
Castle Rising	24-Oct-17	17/00468/UNOPDE	Knights Hill Farm Grimston Road South Wootton Norfolk PE30 3PD	Alleged unauthorised operational development	Pending Consideration
Clenchwarton	26-Sep-17	17/00413/UNAUTU	Clockcase Barn Clockcase Road Clenchwarton King's Lynn Norfolk PE34 4BZ	Alleged unauthorised use	DC Application Submitted
Congham	02-May-17	17/00179/NIA	Land Adjacent To Deerwood St Andrews Lane Congham Norfolk	alleged not in accordance with 16/00910/RM	Notice Issued
Crimplesham	29-Nov-17	17/00518/UNAUTU	Tudor Cottage Main Road Crimplesham King's Lynn Norfolk PE33 9DX	Alleged Unauthorised Use	Pending Consideration
Dersingham	16-Mar-16	16/00129/UNAUTU	12 Valley Rise Dersingham King's Lynn Norfolk PE31 6PS	alleged unauthorised use and operational development	Pending Consideration
Dersingham	23-Feb-17	17/00099/UNAUTU	3 Hawthorn Drive Dersingham King's Lynn Norfolk PE31 6QG	Alleged unauthorised use	Pending Consideration
Dersingham	19-Jan-18	18/00019/BOC	Pine Cones Caravan And Camping Dersingham Bypass Dersingham Norfolk	Alleged Breach of conditions	Pending Consideration
Docking	08-Aug-17	17/00345/UNAUTU	Land At Range Farm Fakenham Road Stanhoe Norfolk PE31 8PX	Alleged unauthorised use	DC Application Submitted
Downham Market	30-Oct-14	14/00672/BOC	Land To the South of 17 Railway Road Downham Market Norfolk	alleged breach of condition	Pending Consideration
Downham Market	12-Nov-14	14/00690/UWCA	Martin the Newsagent 10 Bridge Street Downham Market Norfolk PE38 9DH	alleged unauthorised satellite dishes in a Conservation Area	Pending Consideration
Downham Market	01-Dec-16	16/00547/BOC	The Quality 4x4 Sales 91 Railway Road Downham Market Norfolk PE38 9EP	alleged breach of condition	Notice Issued
Downham Market	05-Dec-16	16/00555/UWCA	Rumbles Fish Bar 55 Bridge Street Downham Market Norfolk PE38 9DW	alleged unauthorised light sign	Pending Consideration
Downham Market	13-Feb-17	17/00073/BOC	Land And Buildings On the South Side of Railway Road Downham Market Norfolk	alleged breach of condition relating to 11/01609/FM	Pending Consideration
Downham Market	29-Jun-17	17/00285/UNAUTU	38 Masefield Drive Downham Market Norfolk PE38 9TS	Alleged unauthorised use	Pending Consideration
East Rudham	26-Feb-16	16/00097/UWLB	Anchorage House Broomsthorpe Road East Rudham King's Lynn Norfolk PE31 8RG	alleged unauthorised works to a Listed Building	Notice Issued
East Rudham	03-Aug-17	17/00340/UNTIDY	Church Cottage Fakenham Road East Rudham King's Lynn Norfolk PE31 8QZ	Alleged untidy land	Pending Consideration
East Winch	17-Mar-17	17/00134/UNTIDY	The Old Station Yard Gayton Road East Winch Norfolk PE32 1NP	alleged untidy land	Notice Issued
East Winch	17-Jul-17	17/00315/UNOPDE	Former Queensway Service Station Main Road West Bilney Norfolk PE32 1HW	Alleged unauthorised operation development	Pending Consideration

Emneth	20-Oct-14	14/00648/BOC	Banyer Hall 121 Ladys Drove Emneth Wisbech Norfolk PE14 8DG	alleged breach of condition relating to 10/00871/F	Pending Consideration
Emneth	04-May-17	17/00186/UNAUTU	North of Featheredge 51 Mill Road Emneth Norfolk PE14 8AE	alleged unauthorised GRT Encampment	Notice Issued
Emneth	11-Oct-17	17/00452/BOC	129B Church Road Emneth Norfolk PE14 8AF	Alleged breach of planning condition	Pending Consideration
Feltwell	27-Apr-15	15/00209/BOC	2 Leonards Lane Feltwell Thetford Norfolk IP26 4EQ	alleged breach of condition relating to 12/01683/RM	Pending Consideration
Feltwell	12-Dec-17	17/00529/UNOPDE	1 Fairfield Way Feltwell Thetford Norfolk IP26 4AT	Alleged unauthorised operational development	Pending Consideration
Feltwell	16-Jan-18	18/00015/UNAUTU	Whitebridge Nursery White Bridge Farm Southery Road Feltwell Thetford Norfolk IP26 4EJ	Alleged unauthorised use	Pending Consideration
Fring	04-Oct-17	17/00440/UNOPDE	Land To The South West of Peddars Way Fring Norfolk PE31 6SD	Alleged unauthorised development	Pending Consideration
Harpley	27-Mar-17	17/00139/BOC	Land At Rear of Rose And Crown Nethergate Street Harpley Norfolk	Alleged Breach of Condition	Pending Consideration
Heacham	22-Mar-17	17/00052/BOC	18 North Beach Heacham King's Lynn Norfolk PE31 7LJ	alleged breach of condition relating to 11/01754/F	DC Application Submitted
Heacham	13-Feb-17	17/00075/BOC	Jennings Caravan Park Public Open Space West of Blachford And Gymkhana Way Heacham Norfolk	alleged unauthorised use	Pending Consideration
Heacham	29-Mar-17	17/00141/UNOPDE	50 North Beach Heacham King's Lynn Norfolk PE31 7LJ	Unauthorised Operational Development	Notice Issued
Heacham	03-May-17	17/00183/UNAUTU	Land West of A149 Lynn Road Heacham Norfolk	alleged unauthorised use	Pending Consideration
Heacham	27-Jun-17	17/00282/NIA	6 Neville Road Heacham King's Lynn Norfolk PE31 7HA	Alleged not in accordance with approved plans	Pending Consideration
Heacham	04-Oct-17	17/00443/BOC	26 North Beach Heacham King's Lynn Norfolk PE31 7LJ	Alleged breach of condition	Pending Consideration
Heacham	16-Nov-17	17/00500/UNOPDE	7 Meadow Road Heacham King's Lynn Norfolk PE31 7DY	Alleged Unauthorised Operational Development	Pending Consideration
Heacham	09-Jan-18	18/00006/UNOPDE	Ocean Rest 47 The South Beach Heacham King's Lynn Norfolk PE31 7LH	Alleged unauthorised operational development	Pending Consideration
Heacham	16-Jan-18	97/1394/S106	68 Hunstanton Road Heacham King's Lynn Norfolk PE31 7JX	S106 Monitoring	Complaint Received/Investigation Started
Hilgay	14-Jun-17	17/00252/UNOPDE	4 Fairview Cottages Engine Road Ten Mile Bank Downham Market Norfolk PE38 0EN	alleged unauthorised operational development	Pending Consideration
Hilgay	27-Jun-17	17/00283/UNAUTU	Stocks Hill House Stocks Hill Hilgay Norfolk PE38 0JD	Alleged unauthorised use	Pending Consideration
Hilgay	17-Aug-17	17/00355/BOC	Blackberry Barn Ely Road Hilgay Downham Market Norfolk PE38 0HL	Alleged breach of planning condition	Pending Consideration
Hillington	05-Aug-15	15/00392/UWLB	Willow Tree Farm Formerly Field Farm Fakenham Road Hillington King's Lynn Norfolk PE31 6DL	Unauthorised use of building as separate annexe/residential unit and insertion of UPVC windows and doors	Notice Issued
Hockwold cum Wilton	30-May-14	14/00291/UNAUTU	Island Farm Cowles Drove Hockwold cum Wilton Norfolk IP26 4JQ	alleged unauthorised use	Pending Consideration
Hockwold cum Wilton	07-May-15	15/00237/BOC	White Dyke Farm Black Dyke Road Hockwold cum Wilton Norfolk IP26 4JW	alleged Breach of Condition relating to 14/00265/F	Notice Issued
Hockwold cum Wilton	11-Dec-15	15/00601/BOC	Fountain Stables Cowles Drove Hockwold cum Wilton Norfolk	alleged breach of condition relating to 13/01359/F	Pending Consideration
Hockwold cum Wilton	29-Aug-17	17/00369/UNAUTU	Soay Farm Cowles Drove Hockwold cum Wilton Norfolk IP26 4JQ	Alleged Unauthorised Use	Pending Consideration
Hockwold cum Wilton	04-Oct-17	17/00437/BOC	The Bungalow Cowles Drove Hockwold cum Wilton Norfolk IP26 4JQ	Alleged breach of condition	Pending Consideration
Holme next the Sea	08-Aug-14	14/00463/UNAUTU	Land North of High Road Farm Main Road Holme next the Sea Norfolk PE36 6LA	alleged unauthorised use	Notice Issued
Holme next the Sea	11-Jul-17	17/00306/UADV	Land On the South Side of Thornham Road Holme next the Sea Hunstanton PE36 6LS	Unauthorised advertisements	Pending Consideration
Holme next the Sea	01-Nov-17	17/00477/UNOPDE	High Road Farm Bungalow Thornham Road Holme next The Sea Norfolk PE36 6LR	Alleged unauthorised operational development	Pending Consideration
Holme next the Sea	19-Dec-17	17/00533/UNOPDE	Brook House 32 Beach Road Holme next The Sea Norfolk PE36 6LG	Alleged Unauthorised Operational Development	Pending Consideration

Hunstanton	04-May-17	17/00187/UNAUTU	The Codfather Harlequin House Le Strange Terrace Hunstanton Norfolk	alleged unauthorised use	Pending Consideration
Hunstanton	09-May-17	17/00196/UADV	TJ's Cafe 6 High Street Hunstanton Norfolk PE36 5AF	alleged unauthorised works to a Listed Building	Pending Consideration
Hunstanton	13-Jul-17	17/00313/UNAUTU	24B High Street Hunstanton Norfolk	Alleged Unauthorised Use	DC Application Submitted
Hunstanton	21-Sep-17	17/00406/UNOPDE	46 Northgate Hunstanton Norfolk PE36 6DR	Alleged unauthorised operational development	DC Application Submitted
Hunstanton	03-Oct-17	17/00434/UNOPDE	34 Seagate Road Hunstanton Norfolk PE36 5BD	Alleged Unauthorised development	Pending Consideration
Hunstanton	17-Oct-17	17/00461/UNAUTU	7 Queens Gardens Hunstanton Norfolk PE36 6HD	Alleged Unauthorised Use	Pending Consideration
Hunstanton	22-Nov-17	17/00505/UNOPDE	7 Boston Square Hunstanton Norfolk PE36 6DT	Alleged unauthorised operational development	Pending Consideration
Ingoldisthorpe	04-Aug-17	17/00343/UNAUTU	Oak Farm Nurseries Oak Farm The Drift Ingoldisthorpe Norfolk PE31 6NW	Alleged unauthorised use	Pending Consideration
King's Lynn	24-Apr-13	13/00217/BOC	Unit 11 Willow Road Willows Business Park King's Lynn Norfolk PE34 3RD	Alleged Breach of condition 5 attached to 12/00912/F	Pending Consideration
King's Lynn	12-Jun-14	14/00316/UNTIDY	Ferryside 4 Ferry Square West Lynn King's Lynn Norfolk PE34 3JQ	alleged untidy land	Pending Consideration
King's Lynn	21-Aug-15	15/00435/BOC	Golden Ball Farm Low Road Saddlebow Norfolk PE34 3FN	alleged breach of condition relating to 11/01806/EXF	DC Application Submitted
King's Lynn	11-Nov-15	15/00559/UNTIDY	11 Valingers Road King's Lynn Norfolk PE30 5HD	alleged untidy derelict property	Notice Issued
King's Lynn	14-Jan-16	16/00017/BOC	Wind Turbine SW Point Cottages Cross Bank Road King's Lynn Norfolk	alleged breach of condition relating to 14/01381/F	Notice Issued
King's Lynn	08-Feb-16	16/00063/UWCA	53 Railway Road King's Lynn Norfolk	alleged unauthorised works in a Conservation Area	Notice Issued
King's Lynn	16-May-16	16/00234/UWCA	15 North Everard Street King's Lynn Norfolk PE30 5HQ	alleged unauthorised works in a Conservation Area	Notice Issued
King's Lynn	03-Apr-17	17/00091/UNOPDE	5 Out South Gates King's Lynn Norfolk PE30 5SX	alleged unauthorised operational development	Pending Consideration
King's Lynn	06-Mar-17	17/00110/UNOPDE	Golden Scissors 115 Norfolk Street King's Lynn Norfolk PE30 1AP	alleged unauthorised operational development	Pending Consideration
King's Lynn	07-Mar-17	17/00112/UADV	Mondao Circus	alleged unauthorised advertising - Circus fly Posting	Pending Consideration
King's Lynn	08-Mar-17	17/00117/UNAUTU	Mark Perry Sheds And Timber 173 Loke Road King's Lynn Norfolk	alleged breach of condition relating to 12/01661/F	Pending Consideration
King's Lynn	14-Mar-17	17/00129/UNAUTU	Fishing Republic St Hilary Park Road King's Lynn Norfolk	alleged unauthorised use	DC Application Submitted
King's Lynn	21-Apr-17	17/00166/UADV	122 London Road King's Lynn Norfolk PE30 5ES	alleged unauthorised advertisement	Pending Consideration
King's Lynn	21-Apr-17	17/00169/BOC	281 Wootton Road King's Lynn Norfolk PE30 3AR	alleged breach of condition	Pending Consideration
King's Lynn	18-May-17	17/00209/UNOPDE	29 South Everard Street King's Lynn Norfolk PE30 5HJ	alleged unauthorised operational development - upvc windows and doors in a Conservation Area	Notice Issued
King's Lynn	19-May-17	17/00212/UWLB	KINGS LYNN NEWSAGENT 103B High Street King's Lynn Norfolk PE30 1PD	alleged unauthorised works to a Listed Building	Pending Consideration
King's Lynn	06-Jun-17	17/00240/UADV	International Food Centre 6 Tower Place King's Lynn Norfolk	alleged unauthorised advertisement	Pending Consideration
King's Lynn	14-Jun-17	17/00250/UADV	53 London Road King's Lynn Norfolk PE30 5QH	alleged unauthorised signage at Old Chemist shop	Pending Consideration
King's Lynn	21-Jun-17	17/00274/UWLB	14 King Street King's Lynn Norfolk PE30 1HF	Alleged Unauthorised Use - Also a Listed Building	Pending Consideration
King's Lynn	22-Jun-17	17/00276/UNTIDY	172 St Peters Road West Lynn King's Lynn Norfolk PE34 3JF	Alleged untidy property	Pending Consideration
King's Lynn	30-Jun-17	17/00288/UNTIDY	Ferryside 4 Ferry Square West Lynn King's Lynn Norfolk PE34 3JQ	Alleged untidy land	Pending Consideration
King's Lynn	13-Jul-17	17/00310/UNOPDE	19 Woolstencroft Avenue King's Lynn Norfolk PE30 2NU	Alleged Unauthorised Operational Development	Pending Consideration

King's Lynn	24-Aug-17	17/00363/UNOPDE	8 Albion Street King's Lynn Norfolk PE30 1NJ	Alleged unauthorised operational development	Pending Consideration
King's Lynn	25-Aug-17	17/00365/UNAUTU	9 Suffield Way King's Lynn Norfolk PE30 3DE	Alleged unauthorised use	Pending Consideration
King's Lynn	31-Aug-17	17/00373/UNAUTU	7 Five Elms King's Lynn Norfolk PE30 4RJ	Alleged unauthorised use	Pending Consideration
King's Lynn	04-Sep-17	17/00375/UADV	2 Millfleet King's Lynn Norfolk PE30 5EG	Alleged unauthorised advertisement	Pending Consideration
King's Lynn	05-Sep-17	17/00378/UNOPDE	The Crossways Inn South Everard Street King's Lynn Norfolk PE30 5HG	Alleged unauthorised operational development	Pending Consideration
King's Lynn	08-Sep-17	17/00387/NIA	20 St Peters Road West Lynn King's Lynn Norfolk PE34 3LG	Not in accordance with approved plans	Pending Consideration
King's Lynn	14-Sep-17	17/00396/UWLB	26 High Street King's Lynn Norfolk PE30 1BP	Alleged unauthorised works to a Listed Building	Pending Consideration
King's Lynn	15-Sep-17	17/00399/UNTIDY	106 Hillen Road King's Lynn Norfolk PE30 5LG	Alleged untidy land	Pending Consideration
King's Lynn	27-Sep-17	17/00416/UADV	71 - 72 Norfolk Street King's Lynn Norfolk PE30 1AD	Alleged unauthorised signage	Pending Consideration
King's Lynn	29-Sep-17	17/00428/UNOPDE	12 Grafton Close King's Lynn Norfolk PE30 3EZ	Alleged unauthorised operational development	Pending Consideration
King's Lynn	04-Oct-17	17/00439/UNOPDE	Station Road Snettisham	Alleged unauthorised development	Pending Consideration
King's Lynn	06-Oct-17	17/00445/UWLB	Westgate House 42 Chapel Street King's Lynn Norfolk PE30 1EF	Alleged unauthorised works - LB	Pending Consideration
King's Lynn	01-Nov-17	17/00478/UNOPDE	53 London Road King's Lynn Norfolk PE30 5QH	Alleged unauthorised operational development	Pending Consideration
King's Lynn	20-Nov-17	17/00503/UADV	HSS 1 - 2 Out South Gates King's Lynn Norfolk	Alleged unauthorised advertisement	Pending Consideration
King's Lynn	23-Nov-17	17/00509/BOC	Dairy Way Gaywood King's Lynn Norfolk PE30 4TR	Alleged breach of condition	Pending Consideration
King's Lynn	04-Jan-18	18/00003/BOC	Land To The South of 123A Gaywood Road King's Lynn Norfolk PE30 2PZ	Alleged breach of condition	Pending Consideration
King's Lynn	12-Jan-18	18/00013/BOC	Land At Corner of Baker Lane And Queen Street King's Lynn Norfolk	Alleged breach of planning condition	Pending Consideration
King's Lynn	22-Jan-18	18/00022/UNTIDY	49 - 51 Railway Road King's Lynn Norfolk PE30 1NE	Alleged untidy lans	Pending Consideration
King's Lynn	22-Jan-18	18/00029/UNTIDY	7 Saturday Market Place King's Lynn Norfolk PE30 5DQ	Alleged untidy land	Pending Consideration
King's Lynn	22-Jan-18	18/00030/UNTIDY	Gems Cafe 1 Tower Place King's Lynn Norfolk PE30 5DF	Alleged untidy land	Pending Consideration
Leziate	08-Sep-17	17/00383/UNOPDE	Southwood 21 East Winch Road Ashwicken King's Lynn Norfolk PE32 1LX	Alleged unauthorised operational development	DC Application Submitted
Marham	10-Jan-18	18/00009/UNAUTU	The Manor The Street Marham King's Lynn Norfolk PE33 9JP	Alleged unauthorised use	Pending Consideration
Marham	22-Jan-18	18/00023/UNTIDY	Belmont The Street Marham King's Lynn Norfolk PE33 9HP	Alleged untidy land	Pending Consideration
Marshland St James	03-Jul-13	13/00356/UNAUTU	Land North of Long Lots Drove Marshland St James Norfolk	alleged unauthorised use	Notice Issued
Marshland St James	08-Feb-17	17/00069/UNOPDE	300 Smeeth Road Marshland St James Wisbech Norfolk PE14 8EP	alleged unauthorised operational development	Pending Consideration
Marshland St James	21-Feb-17	17/00096/UNAUTU	Barns Rear of Rose Farm 230 Smeeth Road Marshland St James Wisbech Norfolk PE14 8ES	alleged unauthorised use	Pending Consideration
Marshland St James	12-Oct-17	17/00456/UNOPDE	Land Opposite Bramble Cottage Dades Lane Marshland St James Norfolk	Alleged unauthorised operational development	DC Application Submitted
Marshland St James	16-Nov-17	17/00501/UNOPDE	5 Neeps Terrace Middle Drove Marshland St James Wisbech Norfolk PE14 8JT	Alleged unauthorised operational development	Pending Consideration
Marshland St James	18-Dec-17	17/00531/UNAUTU	17 Walton Road Marshland St James Wisbech Norfolk PE14 8DP	Alleged unauthorised use	Pending Consideration
Middleton	28-Sep-17	17/00420/UNAUTU	A47 Oak And Pine Norwich Road Middleton Norfolk	Alleged unauthorised use	Pending Consideration

Middleton	19-Dec-17	17/00534/UWLB	Middleton Hall Hall Orchards Middleton King's Lynn Norfolk PE32 1RY	Alleged unauthorised works to a Listed Building	Pending Consideration
North Runcton	16-Nov-17	17/00502/UNOPDE	Hillside Lodge Hill Road Middleton Norfolk PE32 1FD	Alleged unauthorised operational development	Pending Consideration
North Runcton	05-Dec-17	17/00522/UNAUTU	Rear of The Toll House Lynn Road Middleton King's Lynn Norfolk PE32 1RQ	Alleged unauthorised use	Pending Consideration
Outwell	15-Jun-17	17/00256/BOC	Nursery Site Wisbech Road Outwell Norfolk PE14 8SL	alleged breach of conditions 3 and 5 relating to 15/01194/CU	DC Application Submitted
Outwell	18-Jan-18	18/00018/UNAUTU	Langhorns Lodge Langhorns Lane Outwell Wisbech Norfolk PE14 8SH	Alleged unauthorised use	Pending Consideration
Outwell	22-Jan-18	18/00025/BOC	Outwell Garage 10 Wisbech Road Outwell Norfolk PE14 8PA	Alleged breach of condition	Pending Consideration
Outwell	22-Jan-18	18/00027/UADV	Outwell Garage 10 Wisbech Road Outwell Norfolk PE14 8PA	Alleged unauthorised advertisement	Pending Consideration
Outwell	22-Jan-18	18/00028/UNTIDY	The Sugar Loaf 30 Downham Road Outwell Wisbech Norfolk PE14 8SE	Alleged untidy land	Pending Consideration
Pentney	29-Jan-16	16/00048/HEDGE	Land North East of The Pines Abbey Road Pentney Norfolk	Alleged removal-works to a hedge	DC Application Submitted
Pentney	09-Oct-17	17/00447/BOC	Valentines Yard Pentney Lane Pentney Norfolk PE32 1JE	Alleged Breach of Condition	Pending Consideration
Roydon	15-Jun-16	16/00280/UNTIDY	Land East of No's 3 And 4 Birch Drive Roydon Norfolk	alleged untidy land	Notice Issued
Runcton Holme	23-Mar-17	17/00080/BOC	Woodlakes Leisure Ltd Woodlakes Caravan & Camping Park Holme Road Stow Bridge Norfolk PE34 3PX	alleged breach of condition relating to 14/00515/F	Pending Consideration
Sedgeford	09-Jan-18	18/00005/BOC	Wisbech House Ringstead Road Sedgeford Hunstanton Norfolk PE36 5NQ	Alleged Breach of Cnditions	Pending Consideration
Shouldham	25-Sep-17	17/00409/UNAUTU	Field Barn Marham Road Shouldham Norfolk PE33 9FA	Field BarnMarham RoadShouldhamNorfolkPE33 9FA	Pending Consideration
Snettisham	28-Jan-16	16/00038/BOC	Land At Common Road Snettisham Norfolk	alleged breach of condition relating to 13/01736/RM	DC Application Submitted
Snettisham	13-Apr-16	16/00178/BOC	Old Station Yard Station Road Snettisham King's Lynn Norfolk PE31 7QS	Alleged breach of condition relating to 11/01163/	Pending Consideration
Snettisham	07-Mar-17	17/00114/BOC	Compass House 16B Lynn Road Snettisham Norfolk PE31 7PT	Alleged breach of condition 7 relating to 15/00237/F and Condition 7 relating to 15/01551/F	Pending Consideration
Snettisham	19-Jun-17	17/00261/NIA	The Bungalow Anchor Park Station Road Snettisham Norfolk PE31 7QH	Alleged not built in accordance with approved plans	Pending Consideration
Snettisham	20-Jun-17	17/00273/BOC	Coastal Veterinary Group 16 Alma Road Snettisham Norfolk PE31 7NY	Alleged Breach of Conditions 9 and 10	Pending Consideration
Snettisham	19-Jul-17	17/00318/UNAUTU	Land To The South of 14 Park Lane Snettisham King's Lynn Norfolk PE31 7NW	Alleged unauthorised use	Notice Issued
Snettisham	08-Sep-17	17/00441/UNOPDE	2 Southgate Lane Snettisham King's Lynn Norfolk PE31 7QN	Alleged unauthorised operational development	Pending Consideration
Snettisham	03-Nov-17	17/00482/BOC	54 The Beach Shepherds Port Snettisham Norfolk PE31 7RB	Alleged Breach of condition	Pending Consideration
Snettisham	06-Dec-17	17/00526/BOC	Solar Farm Bircham Road Snettisham Norfolk	Alleged Breach of Condition 6 of 15/01146/FM	Pending Consideration
Snettisham	10-Jan-18	18/00008/UNAUTU	18 Beach Road Snettisham King's Lynn Norfolk PE31 7RA	from countryside to garden land including construction of pond and residential paraphernalia	Pending Consideration
South Creake	04-Aug-15	15/00391/UNOPDE	The Elms The Common South Creake Fakenham Norfolk NR21 9JA	Alleged unauthorised caravans on site	Notice Issued
South Creake	04-Aug-16	16/00353/BOC	Jays The Common South Creake Fakenham Norfolk NR21 9JB	alleged breach of condition	Notice Issued
South Creake	05-Dec-17	17/00523/UNOPDE	Solitaire 14 Burnham Road South Creake Fakenham Norfolk NR21 9JF	Alleged unauthorised operational development	Pending Consideration
South Wootton	04-Aug-16	16/00354/BTPO	The Limes 8 Church Lane South Wootton Norfolk PE30 3LJ	alleged breach of tree preservation order	Notice Issued
South Wootton	12-Jul-17	17/00308/UNOPDE	15 Blackthorn Road South Wootton King's Lynn Norfolk PE30 3WU	Alleged Unauthorised Operational Development	Pending Consideration
South Wootton	24-Nov-17	17/00511/BOC	Leslaw 31 Nursery Lane South Wootton King's Lynn Norfolk PE30 3NG	Alleged breach of conditions	Pending Consideration

Southery	08-Jan-14	14/00005/UNAUTU	Land Known As Pells Farm Farthing Drove Southery Norfolk PE38 OPR	alleged unauthorised use	Notice Issued
Southery	22-Jan-18	18/00026/UNTIDY	Strip of Land N To S Between 67 Feltwell Road And Junction of Black Bank Drove Ringmore Road Southery	Alleged untidy land	Pending Consideration
Stoke Ferry	08-Apr-16	16/00164/UNAUTU	The Annexe Playters Farm Greatmans Way Stoke Ferry Norfolk PE33 9SZ	Alleged unauthorised use	Notice Issued
Stoke Ferry	19-Jan-17	17/00040/UNAUTU	Horsemans Rest Littlemans Way Stoke Ferry King's Lynn Norfolk PE33 9UB	alleged unauthorised use	Pending Consideration
Stoke Ferry	26-Sep-17	17/00412/UNAUTU	Bluebell Inn Lynn Road Stoke Ferry King's Lynn Norfolk PE33 9SW	Alleged unauthorised use	Pending Consideration
Stow Bardolph	07-Jun-17	17/00245/UNAUTU	Land Rear of Claxton Cottage The Causeway Stow Bridge King's Lynn Norfolk PE34 3PP	alleged unauthorised use - caravan	Pending Consideration
Stow Bardolph	19-Jul-17	17/00317/UNAUTU	The Baptist Chapel Gooding Close Stow Bridge Norfolk	Alleged unauthorised use	Pending Consideration
Stow Bardolph	12-Sep-17	17/00391/UNAUTU	Land S W of 16 The Drove Barroway Drove Norfolk PE38 0AJ	Alleged unauthorised use	Pending Consideration
Syderstone	14-Jul-15	15/00353/BOC	Carriage House Docking Road Syderstone Norfolk PE31 8SW	alleged breach of condition relating to 10/01425/F	Pending Consideration
Syderstone	17-Oct-17	17/00462/UNOPDE	3 Rudham Road Syderstone King's Lynn Norfolk PE31 8SL	Alleged unauthorised operational development	Pending Consideration
Syderstone	22-Jan-18	18/00021/UNTIDY	The Limes Rudham Road Syderstone King's Lynn Norfolk PE31 8SL	Alleged untidy land	Pending Consideration
Terrington St Clement	10-Oct-14	14/00635/UNAUTU	Myrabella Farm Long Road Terrington St Clement King's Lynn Norfolk PE34 4JN	alleged unauthorised use	Notice Issued
Terrington St Clement	19-Nov-14	14/00702/UNAUTU	South Fork Waterlow Road Terrington St Clement Norfolk PE34 4PS	alleged unauthorised use	Pending Consideration
Terrington St Clement	26-May-16	16/00255/UNAUTU	Annexe At 257 Lynn Road Terrington St Clement King's Lynn Norfolk PE34 4HU	alleged unauthorised use	Pending Consideration
Terrington St Clement	21-Sep-17	17/00405/UNOPDE	South Fork Waterlow Road Terrington St Clement Norfolk PE34 4PS	Unauthorised operational development	Pending Consideration
Terrington St Clement	19-Oct-17	17/00465/UNOPDE	10 Chapel Road Terrington St Clement King's Lynn Norfolk PE34 4NB	Alleged unauthorised operational development	Pending Consideration
Terrington St Clement	08-Nov-17	17/00487/UNAUTU	African Violet And Garden Centre Station Road Terrington St Clement Norfolk PE34 4PL	Alleged unauthorised use	Pending Consideration
Terrington St John	14-Nov-17	17/00498/UNOPDE	Butchers Shop 29 Old Church Road Terrington St John Wisbech Norfolk PE14 7XA	Alleged unauthorised operational development	DC Application Submitted
Thornham	28-Nov-17	17/00514/UNOPDE	Thornham Deli High Street Thornham Norfolk PE36 6LX	Alleged unauthorised operational development	Pending Consideration
Tilney St Lawrence	25-Mar-14	14/00176/UNOPDE	The Coach & Horses Lynn Road Tilney All Saints King's Lynn Norfolk PE34 4RU	alleged unauthorised operational development	Notice Issued
Tilney St Lawrence	05-Jun-17	17/00234/UNOPDE	Highfields Lynn Road Tilney All Saints King's Lynn Norfolk PE34 4RU	alleged unauthorised operational development	Pending Consideration
Tilney St Lawrence	13-Dec-17	17/00530/BOC	Paddock Nursery Chapel Road Tilney Fen End Tilney St Lawrence Norfolk	Alleged Breach of Condition	Pending Consideration
Tilney St Lawrence	19-Dec-17	17/00535/UNAUTU	Land To West of 147 Church Road Tilney All Saints Norfolk	Alleged unauthorised use	Pending Consideration
Tilney St Lawrence	12-Jan-18	18/00011/BOC	Holly Manor Lynn Road Tilney All Saints King's Lynn Norfolk PE34 4RT	Alleged Breach of conditions to 15/01963/F	Pending Consideration
Upwell	08-Sep-17	17/00384/UNTIDY	53 - 55 Croft Road Upwell Wisbech Norfolk PE14 9HE	Alleged untidy land	Pending Consideration
Upwell	12-Oct-17	17/00455/UNAUTU	Static Caravan Globe Public House Bridge Road Upwell Norfolk PE14 9DT	Alleged unauthorised use	Pending Consideration
Upwell	29-Nov-17	17/00517/BOC	All Ours 23 Green Road Upwell Wisbech Norfolk PE14 9HS	Alleged breach of planning condition	Pending Consideration
Upwell	19-Jan-18	18/00020/UNAUTU	D Hircock School Road Upwell Wisbech Norfolk PE14 9EW	Alleged unauthorised use	Pending Consideration
Walpole	27-Jan-16	16/00037/BOC	Newcroft Cottage Mill Road Walpole St Peter Norfolk PE14 7QP	alleged breach of condition relating to 06/00759/F	Notice Issued
Walpole	05-Apr-16	16/00154/UNAUTU	12 Frenchs Road Walpole St Andrew Wisbech Norfolk PE14 7JF	alleged unauthorised use	Pending Consideration

Walpole	24-May-16	16/00250/BOC	12 Stable Block Livery Business At Hill Farm West Drove North Walpole St Peter Norfolk	alleged breach of condition relating to 13/00147/F	Notice Issued
Walpole Cross Keys	16-Aug-17	17/00352/UNOPDE	112 Sutton Road Walpole Cross Keys King's Lynn Norfolk PE34 4HE	Alleged unauthorised operational development	Pending Consideration
Walpole Cross Keys	09-Oct-17	17/00449/UNAUTU	Samuels Family Farm Shop And Butchers Market Lane Walpole St Andrew Norfolk PE14 7LT	Alleged unauthorised use	DC Application Submitted
Walpole Highway	17-Jan-18	18/00017/UNTIDY	Gabart Lodge West Drove South Walpole Highway Wisbech Norfolk PE14 7RA	Alleged untidy land	Pending Consideration
Walsoken	08-Jun-15	15/00278/BOC	81 Broadend Road Walsoken Norfolk PE14 7BQ	alleged breach of condition	Pending Consideration
Walsoken	06-Jul-17	17/00293/BOC	Land 400M N of Wheatley Bank Farmhouse Wheatley Bank Walsoken Norfolk PE14 7AZ	Alleged breach of condition	Pending Consideration
Walsoken	07-Aug-17	17/00344/BOC	Mill Road Caravan Site Wilkins Road Walsoken Norfolk PE14 7BG	Alleged Breach of Condition 1	Pending Consideration
Walsoken	10-Aug-17	17/00348/UNAUTU	Sibley Field Farm /Fishing Lakes Biggs Road Walsoken Norfolk PE14 7BD	Alleged unauthorised use	Notice Issued
Walsoken	22-Aug-17	17/00357/UNOPDE	Sibley Field Farm Biggs Road Walsoken Wisbech Norfolk PE14 7BD	Alleged unauthorised operational development	Notice Issued
Walsoken	26-Sep-17	17/00415/UNAUTU	Land At Geoses Lane Marshland St James Norfolk	Alleged unauthorised use	Pending Consideration
Walsoken	09-Oct-17	17/00450/BOC	83 Broadend Road Walsoken Norfolk	Alleged breach of planning condition	Pending Consideration
Walsoken	09-Nov-17	17/00489/UNOPDE	Land North of Barwin Waterlees Road Walsoken Wisbech Norfolk	Alleged unauthorised operational development	Pending Consideration
Walsoken	05-Dec-17	17/00520/UNOPDE	Sibley Field Farm Biggs Road Walsoken Wisbech Norfolk PE14 7BD	Alleged unauthorised operational development	Pending Consideration
Walsoken	20-Dec-17	17/00536/UNAUTU	LandAdjacent Bucksholt Stables Bucksholt Road Walsoken Wisbech Norfolk PE14 7AR	Alleged Unauthorised Use	Pending Consideration
Walsoken	15-Jan-18	18/00014/UNAUTU	The Barn Bucksholt Road Walsoken Wisbech Norfolk PE14 7AR	Alleged unauthorised use	Pending Consideration
Watlington	13-Apr-16	16/00176/UNAUTU	Land South of 6 Challis Close 10, 14, 16 Kent Drive 47 And 49 Langridge Circle 98 John Davis Way Watlington King's	Alleged unauthorised use	Pending Consideration
Watlington	01-Jun-17	17/00229/BOC	Land On the North Side of Fen Road Watlington Norfolk	alleged breach of condition relating to 06/00145/F	Pending Consideration
Welney	11-Sep-14	14/00542/UNOPDE	Halfpenny Toll Farm Ha Penny Toll Road Lott's Bridge Three Holes Norfolk PE14 9JE	alleged unauthorised operational development	Notice Issued
Welney	25-Jul-17	17/00332/UNOPDE	Golden Square Cottage Suspension Bridge Welney Wisbech Norfolk PE14 9TF	Alleged unauthorised operational development	Pending Consideration
West Rudham	30-Sep-16	16/00461/UNOPDE	Shanrane Lynn Road West Rudham King's Lynn Norfolk PE31 8RW	alleged unauthorised operational development- Fence	Pending Consideration
West Walton	04-Oct-17	17/00436/UNAUTU	Tamar Nurseries School Road West Walton Wisbech Norfolk PE14 7DS	Alleged unauthorised use	Pending Consideration
West Walton	04-Oct-17	17/00442/UNAUTU	Land At Harps Hall Road Walton Highway Norfolk PE14 7DL	Alleged unauthorised use	Pending Consideration
West Winch	05-Jun-15	15/00270/UNAUTU	45 Archdale Close West Winch King's Lynn Norfolk PE33 0LD	alleged unauthorised use	Pending Consideration
West Winch	14-Jun-17	17/00254/UNAUTU	Silena Automotive Engine Shed 1 Garage Lane Setchey Norfolk PE33 0BE	alleged unauthorised use - burger van	Pending Consideration
West Winch	21-Sep-17	17/00407/UADV	A10 West Winch King's Lynn Norfolk New Farm House High Road	Alleged unauthorised advertisement	Pending Consideration
Wiggenhall St Germans	23-Jun-14	14/00368/UNAUTU	Saddlebow King's Lynn Norfolk PE34 3AW	alleged unauthorised use	Notice Issued
Wiggenhall St Germans	07-Mar-16	16/00112/UNAUTU	Rear of Sunset Lodge Lynn Road Wiggenhall St Germans King's Lynn Norfolk PE34 3AT	alleged unauthorised use	Pending Consideration
Wiggenhall St Germans	23-Jan-17	17/00045/UNOPDE	Spriggs Hollow Magdalen High Road Wiggenhall St Mary Magdalen Norfolk PE34 3BG	alleged unauthorised operational development	Pending Consideration
Wiggenhall St Mary Magdalen	23-Jun-17	17/00277/UNAUTU	Brights Barn Stow Road Wiggenhall St Mary Magdalen Norfolk PE34 3BD	Alleged unauthorised use	Pending Consideration
Wiggenhall St Mary Magdalen	27-Sep-17	17/00417/UNAUTU	Holly House Farm Stow Road Wiggenhall St Mary Magdalen Norfolk PE34 3BD	Holly House FarmStow RoadWiggenhall St Mary MagdalenNorfolkPE34 3BD	Pending Consideration

Wiggenhall St Mary Magdalen	09-Jan-18	18/00004/UNAUTU	Ivy Manor Farm Burnt Lane Wiggenhall St Mary Magdalen King's Lynn Norfolk PE34 3DE	Alleged unauthorised used	Pending Consideration
Wimbotsham	13-Nov-17	17/00492/HHC	18 West Way Wimbotsham King's Lynn Norfolk PE34 3PZ	Alleged high hedge	Pending Consideration
Wormegay	13-Nov-17	17/00494/UNOPDE	Beech House Castle Road Wormegay Norfolk PE33 0SG	Alleged unauthorised operational development	Pending Consideration
Wormegay	12-Jan-18	18/00012/UNOPDE	Alfred G Pearce Castle Road Wormegay King's Lynn Norfolk PE33 0SG	Alleged unauthorised operational development	Pending Consideration
Wretton	22-Jan-18	18/00024/UNAUTU	Ashmede Low Road Wretton King's Lynn Norfolk PE33 9QN	Alleged unauthorised use	Pending Consideration

PLANNING COMMITTEE

5 FEBRUARY 2018

**DECISION ON PLANNING AND ENFORCEMENT APPEALS
- QUARTERLY REPORT -**

1. PURPOSE OF THE REPORT

- 1.1 To provide Members with the quarterly update covering performance for the period 1 October 2017 – 31 December 2017.

2. REPORT

- 2.1 The Schedule is attached at Appendix 1 for the period 1 October 2017 – 31 December 2017 (Planning and Enforcement).

	Valid appeals started in system at beginning of period	New valid appeals started	Appeals decided (or withdrawn / closed / invalid)	Valid appeals started in system at end of period
1 Oct – 31 Dec	23	20	19	24

- 2.2 For all appeals decided this quarter, the outcomes were as follows:-

	Allowed	Dismissed	Total	Withdrawn / Closed	Invalid	Split
1 Oct – 31 Dec	7	11	18	1	0	0
	39%	61%				

- 2.3 BVPI 204 was not retained as a new National Indicator although it has been retained as one of our local indicators. BVPI 204 was quite specific over which appeals it covers and for example does not include enforcement, advertisement, lawful development certificate, permitted development, hedge and tree appeals, this is reflected in the table below.

	Allowed	Dismissed	Total	Withdrawn / Closed	Invalid	Split
1 Oct – 31 Dec	7	9	16	0	0	0
	44%	56%				

- 2.4 For all appeals decided over the last 4 quarters, the outcomes were as follows:-

2016/17	Allowed	Dismissed	Total	Withdrawn / Closed	Invalid	Split
1 Jan – 31 Mar	2	11	13	3	0	0
1 Apr – 30 Jun	2	16	18	1	0	0
1 Jul – 30 Sept	3	8	11	0	0	0
1 Oct – 31 Dec	7	11	18	1	0	0
Total	14	46	60	5	0	0
	23%	77%				

This data shows that for the final quarter of 2017 39% of all appeals were allowed. For the 12 month period to 31 December 2017 an average of 23% of all appeals

were allowed. This is well below the post National Planning Policy Framework (NPPF) national average figure of around 36% of all appeals allowed. With regard to withdrawals it should be noted that appeals can be withdrawn at any time, even after the statements have been exchanged or the appeal heard but whilst the Inspector's decision is awaited. At that stage the LPA has undertaken all the work but without any commensurate result.

- 2.5 All decisions are viewable on the councils web site located on the planning appeals page and are e-mailed directly to the ward member, Chairman and Vice-Chairman. Appeal documentation for applications made in 2004 onwards can also be viewed on Public Access using the planning application search facility.

Contact Officer: Lee Osler, Office Manager
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Planning and Enforcement Appeal

Report Date Range 01/10/2017 to 31/12/2017

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
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Live Cases -1 (Not including appeals received to end of previous quarter)

28/10/2016	ENV/3161360	Hanover Housing 1 Lyndhurst Court Sandringham Road Hunstanton Norfolk PE36 5AE	2/TPO/00236: T1 Horse Chestnut T2 T3 T4 Lime Trees x 3 - Remove	16/00036/TPO	Undefined		
19/01/2017	W/16/3163079	Mr And Mrs Statham Meadow View Black Horse Road Clenchwarton King's Lynn Norfolk PE34 4DN	Removal of condition 8 attached to planning permission 16/00395/F to remove the tie of the dwelling to the business	16/01478/F	Written Representations		
13/04/2017	APP/TRN/6096	Mr And Mrs D And A Butcher The Limes 8 Church Lane South Wootton Norfolk PE30 3LJ	Appeal against	16/00354/BTPO	Written Representations		
05/09/2017	W/17/3179526	Mr B Schumda R & B Motors 64 High Street Methwold Thetford Norfolk IP26 4NT	Demolition of existing on site structures with the construction of two detached dwellings	15/02076/F	Written Representations		

Live Cases -2 (Received in previous quarter)

23/10/2017	W/17/3183510	Miss Katie Bulsara 141 Station Road Walpole St Andrew Wisbech Norfolk PE14 7LY	Removal of condition 4 of planning permission 10/00277/F: To remove planning restriction on commercial use	17/00302/F	Written Representations		
25/10/2017	W/17/3185584	Mr Human Land On the North West Side of Market Lane Walpole St Andrew Norfolk	Change of use of the land for garden to improve existing residential amenity	16/02013/CU	Written Representations		

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
25/10/2017	W/17/3180071	Mr A Fines Land To East Manor Farm Cottages Hill Road Middleton King's Lynn Norfolk PE32 1RN	Outline Application: Two residential dwellings	16/02142/O	Written Representations		
25/10/2017	W/17/3184057	Bally Construction UK Ltd 65-66 Norfolk Street King's Lynn Norfolk PE30 1AG	Conversion of 4 flats into 4 flats and 1 house	17/00186/F	Written Representations		
08/11/2017	W/17/3183849	PCD 94 Hall Road Clenchwarton King's Lynn Norfolk PE34 4AT	Construction of two detached chalet dwellings	16/00300/F	Written Representations		
08/11/2017	W/17/3185413	Mr David Gray Sandy Ridge Broadwater Road Holme next the Sea Norfolk PE36 6LQ	Variation of condition 10 of planning permission 16/00323/F (replacement dwelling): To amend previously approved drawings	17/00735/F	Written Representations		
08/11/2017	W/17/3185460	Mr & Mrs D Cawston Rear of 33 Kensington Road King's Lynn Norfolk PE30 4AS	Construction of new dwelling and detached garage	17/01036/F	Written Representations		
08/11/2017	W/17/3187269	Bennett Homes Land E of Cromer Road Hunstanton Norfolk	Variation of condition 14, 18 and 23 of planning permission 16/00082/OM to revise drawings for additional vehicular accesses (private drives) onto Cromer Road	17/01465/F	Written Representations		

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
13/11/2017	APP/TPO/V2635/6418	Mr Dave Coe 4 Cedar Row Wootton Road King's Lynn Norfolk PE30 3BA	2/TPO/00038: T1 - Copper Beech crown rise to 5m, crown radius reduction to 5m and crown clean. Reason - excessive shading to observe statutory road clearance	17/00063/TPO	Undefined		
15/11/2017	W/17/3180533	Mrs Christine Harrison Land South West of Flying Field Farm Wheatley Bank Walsoken Norfolk	Change of use of paddock to 12 pitches for traveller families including standing 12 mobile homes, 12 touring vans and construction of 12 day rooms	16/01002/F	Informal Hearing	16/01/2018	
20/11/2017	D/17/3184113	Mr & Mrs J Bowley Gannets Rest 36 the Beach Shepherds Port Snettisham Norfolk PE31 7RB	Replacement of flat roof with pitched roof containing additional accommodation	17/01204/F	Undefined		
21/11/2017	W/17/3185607	Mr James Lee Hanse House South Quay King's Lynn Norfolk PE30 5GN	Proposed replacement entrance lobby to the main entrance from South Quay	17/01310/F	Written Representations		
21/11/2017	W/17/3185610	Mr James Lee Hanse House South Quay King's Lynn Norfolk PE30 5GN	Listed building application for proposed replacement entrance lobby to the main entrance from South Quay	17/01311/LB	Written Representations		
23/11/2017	W/17/3177430	Mickram Ltd Wind Turbine SW Point Cottages Cross Bank Road King's Lynn Norfolk	To allow the engineering works to be carried out to implement a stopping up order to BOAT1	16/01810/F	Written Representations		

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
06/12/2017	W/17/3175844	Mr James Lee Hanse House South Quay King's Lynn Norfolk PE30 5GN	Internal alterations to convert part first floor south side and part second floor north side to C1 use (affordable overnight accommodation)	17/00120/F	Written Representations		
06/12/2017	Y/17/3182655	Mr James Lee Hanse House South Quay King's Lynn Norfolk PE30 5GN	Listed Building Application: Internal alterations to convert part first floor South side and part second floor North side to C1 use	17/00121/LB	Written Representations		
13/12/2017	W/17/3180116	Mrs Jeannie McPhee Jays The Common South Creake Fakenham Norfolk NR21 9JB	Variation of condition 3 of planning permission 09/01387/F to allow no more than 7 caravans of which no more than 1 could be a mobile home, together with a day room. Also the removal of condition 4 of planning permission 09/01387/F	16/02104/F	Informal Hearing	13/02/2018	
14/12/2017	APP/TPO/V2635/6526	Mrs Claire Jeffries 2 Lime Close Marham King's Lynn Norfolk PE33 9HN	2/TPO/00234: T1 Beech - Reduce in height and thin	17/00071/TPO	Undefined		
29/12/2017	W/17/3186540	Mr & Mrs Wase 1 Sea Lane Old Hunstanton Hunstanton Norfolk PE36 6JN	Removal of condition 2 of planning reference number 2/85/3706/CU/F/BR to enable the two storey dwelling and the annex to form two separate planning units	17/00444/F	Written Representations		
29/12/2017	W/17/3186536	Mr & Mrs Wase 1 Sea Lane Old Hunstanton Hunstanton Norfolk PE36 6JN	New vehicular access	17/00445/F	Written Representations		

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
Appeals Decided (Up to the end of previous quarter)							
23/02/2017	C/16/3165306	Mr Mahir Kocaskan	Appeal against unauthorised use	15/00603/UNAUTU	Written Representations		28/11/2017
		Alis Meze Bar 120 Norfolk Street King's Lynn Norfolk PE30 1AP					Enf Notice Upheld with Alteration
18/04/2017	W/16/3166074	New Hall Properties (Eastern) Ltd	Outline Major Application: Up to 50 dwellings	16/00647/OM	Public Inquiry	17/10/2017	20/12/2017
		Land To the North St Nicholas Close Gayton King's Lynn Norfolk PE32 1QS					Appeal Allowed
19/05/2017		Mr William & Mrs Margaret Lodge	2/TPO/00018: T1 T2 T3 T4 T5 T6 T7 Scots Pines x 7 - Fell	16/00086/TPO	Undefined		01/11/2017
		21 Wimbotsham Road Downham Market Norfolk PE38 9PE					Appeal Dismissed
31/07/2017	W/17/3176120	Mr John Coleridge	Erection of 6 timber holiday lodges	15/01695/F	Written Representations		16/10/2017
		Land At Greatmans Way Stoke Ferry Norfolk					Appeal Dismissed
31/07/2017	W/17/3175059	Mr R Gooch	Outline Application: construction of 3 dwellings	16/01476/O	Written Representations		26/10/2017
		Land At Low Side Upwell Norfolk					Appeal Dismissed
01/08/2017	W/17/3176749	Mr & Mrs M Bush	Construction of two bungalows	17/00355/F	Written Representations		03/11/2017
		East of 35 Fen Road Watlington King's Lynn Norfolk PE33 0JA					Appeal Allowed
02/08/2017	W/17/3175536	Mr And Mrs A Carman	New residential dwelling	16/02085/F	Written Representations		08/11/2017
		The Old Coal Yard Hardwick Narrows West Winch Norfolk PE33 0NA					Appeal Dismissed
02/08/2017	W/17/3176750	Mrs A C Palmer	Construction of one dwelling	17/00374/F	Written Representations		06/11/2017
		43 Main Street Hockwold cum Wilton Norfolk IP26 4LQ					Appeal Dismissed

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
11/08/2017	W/17/3176143	The Abbey Group (Cambridgeshire) Ltd	Use of the land for the stationing of 6 mobile homes for holiday use together with associated formation of hardstandings, new boundary treatments and minor engineering works	15/01883/F	Written Representations		17/11/2017
		Land To North-East of The Old Smithy 26 Eastgate Holme next the Sea Norfolk PE36 6LL					Appeal Dismissed
11/08/2017	W/17/3173235	Mrs Pat Howling	Removal of condition 3 of planning permission 10/00518/F as the applicant now owns the land	16/00710/F	Written Representations		14/11/2017
		Journeys End 40B Common Road Snettisham Norfolk PE31 7PF					Appeal Allowed
05/09/2017	W/17/3178989	Mr D Lloyd	Construction of 4 new dwellings following demolition of existing bungalow	16/01084/F	Written Representations		15/11/2017
		The Bungalow Waterworks Road Old Hunstanton Hunstanton Norfolk PE36 6JE					Appeal Dismissed
05/09/2017	W/17/3182025	JMJ Projects	Demolition of existing buildings. Erection of 2 new 4 bedroom houses	16/02192/F	Written Representations		20/11/2017
		Buildings South of The Gables High Road Saddlebow Norfolk PE34 3AR					Appeal Dismissed
07/09/2017	W/17/3179813	The Abbey Group (Cambridgeshire) Limited	Erection of 2 no. detached two storey dwellings, new shared vehicular access and boundary treatments	17/00113/F	Written Representations		20/12/2017
		Coach House High Street Thornham Hunstanton Norfolk PE36 6LY					Appeal Allowed
14/09/2017	W/17/3178329	Mr & Mrs Coney	Replacement of existing bungalow and shed with new two-storey dwelling, single storey annex, and detached garage	17/00052/F	Written Representations		22/11/2017
		Mayflower Butchers Lane Brancaster Norfolk PE31 8AT					Appeal Allowed

Start Date	Appeal Ref. APP/V2635/	Appellant/Site	Development	Enforcement/ Planning Ref.	Method of Appeal	Hearing Date	Decision Date/Decision
18/09/2017	W/17/3180020	West Side Property Developments Ltd Land South of 8 Chapel Lane Ringstead Norfolk	Ten dwelling proposal comprising of 6 buildings on a brownfield site	15/01604/FM	Written Representations		05/12/2017 Appeal Allowed
28/09/2017	W/17/3181577	Mr Kevin Peploe Land Rear of Oakland Lodge (Fronting Common Road) Lynn Road Walton Highway Norfolk	Outline planning application for single building plot for 2-storey detached dwelling	17/00777/O	Written Representations		13/12/2017 Appeal Dismissed
02/10/2017		Mr Peachey Chantilly 175 Outwell Road Emneth Wisbech Norfolk PE14 0EA	Appeal against alleged unauthorised use	17/00084/UNAUTU	Written Representations		23/11/2017 Appeal Withdrawn
02/10/2017	C/17/3176564	B Driver Chantilly 175 Outwell Road Emneth Wisbech Norfolk PE14 0EA	Appeal against alleged unauthorised use	17/00084/UNAUTU	Written Representations		23/11/2017 Appeal Withdrawn
18/10/2017	W/17/3183090	Mr Darren Taylor Reed House High Street Hilgay Downham Market Norfolk PE38 0LH	Outline Application: Proposed new two storey, three bedroom dwelling	17/00780/O	Written Representations		21/12/2017 Appeal Allowed
19/10/2017	D/17/3180648	Mr & Mrs Baptist 20 Falcon Road Feltwell Thetford Norfolk IP26 4AJ	Build a conservatory to the front aspect of the property projecting 4m and 3.1m wide	17/00821/F	Undefined		17/11/2017 Appeal Dismissed